

September 4, 2024  
230457-A

VIA EMAIL

City of Kelowna  
Development and Planning Department  
1435 Water Street  
Kelowna BC

**RE: BEAVER LAKE INDUSTRIAL - BUILDING 3 - 304 Beaver Lake Road**

The referenced application for Development Permit seeks to expand the existing industrial development at 304 Beaver Lake Road. The scope of the proposed development seeks a third building of approximately 50,000 sq.ft. As demonstrated in the development permit drawing package, the development complies with the I3 Industrial zoning requirements in coverage, density, parking and all other bylaw parameters.

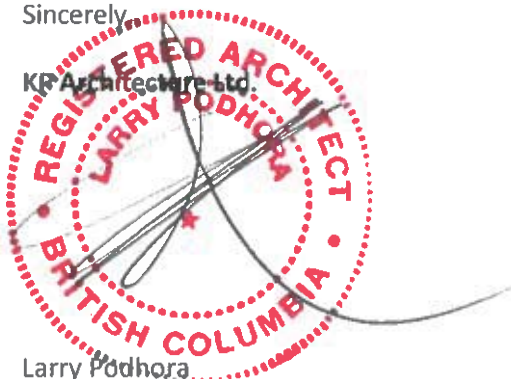
The proposed building is set back from the south property line (Road) approximately 162.5m, therefore has limited visibility to street traffic. Even though not very visible, the architectural design compliments the existing buildings fronting Beaver Lake Road. The building colours, materials, openings and overall articulation are similar to the existing buildings but are varied enough to make this proposed building unique.

In summary, the proposed project develops the existing site in a way that is sympathetic to the surrounding buildings, particularly those of the subject site.

If you have any questions or need additional information, please contact the undersigned.

Sincerely,

KP Architecture Ltd.



Larry Podhora  
Architect AIBC, RAIC, AAA



IMAGE FOR ILLUSTRATION PURPOSES ONLY

# BEAVER LAKE INDUSTRIAL - BUILDING 3

304 BEAVER LAKE ROAD  
KELOWNA, BC V4V 1S7

ARGUS PROPERTIES LTD.

## SHEET LIST

ARCHITECTURE	
A0.00	COVER
A0.01	PERSPECTIVES
A0.10	GENERAL CONDITIONS
A0.20	BUILDING CODE REVIEW & FIRE SEPARATION PLANS
A1.01	SITE PLAN, CONTEXT PLAN & PROJECT INFORMATION
A1.02	DETAILED ARCHITECTURAL SITE PLAN
A1.10	SITE DETAILS
A2.01	MAIN FLOOR - SOUTH
A2.02	MAIN FLOOR - NORTH
A2.11	ROOF PLAN & REFLECTED CEILING PLAN
A4.10	BUILDING ELEVATIONS - EAST & SOUTH
A4.11	BUILDING ELEVATIONS - WEST & NORTH
A5.10	BUILDING SECTIONS
A5.11	BUILDING SECTIONS
A5.20	WALL SECTIONS
A6.10	STAIR PLANS, SECTIONS & DETAILS
A7.11	PLAN & ROOF DETAILS
A7.21	BUILDING DETAILS
A8.10	DOOR SCHEDULE, DOOR TYPES, FRAME TYPES & HARDWARE CODES
A8.20	WINDOW SCHEDULE
A8.30	CONSTRUCTION ASSEMBLIES & CODE DETAILS

KPA PROJECT No. Z30457-A

## PROJECT TEAM

### ARCHITECT OF RECORD

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PROJECT MANAGER: BITO BISHU

### STRUCTURAL

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### MECHANICAL

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### ELECTRICAL

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PROJECT MANAGER: SHARNA

### LANDSCAPE

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### CIVIL

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PROJECT MANAGER: STEVE TOBLER  
TECH LEAD: KOLAND RUSSELL

### SURVEY

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404-1639 PANDORY STREET  
KELOWNA, BC V1Y 0Y1  
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### GEOTECHNICAL

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1-1948 MOSS COURT  
KELOWNA, BC V1Y 6L3  
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PROJECT MANAGER: JEREMY BLOCK

### FIRE SUPPRESSION

CLASSIC FIRE & LIFE SAFETY INC.  
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PROJECT MANAGER: ADAM SHACKLETON  
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This drawing has been prepared solely for the use of ARGUS PROPERTIES LTD. and there are no representations of any kind made by KP Architecture Ltd. to any party with whom KP Architecture Ltd. has not entered into a contract. This drawing shall not be used for construction purposes until it is issued for the purpose.

NO.	DATE	Y/M/D	DESCRIPTION
4	2024/10/05		RE-ISSUED FOR BUILDING PERMIT
3	2024/10/05		ISSUED FOR DEVELOPMENT PERMIT
2	2024/09/02		ISSUED FOR BUILDING PERMIT

## ISSUES AND REVISIONS

SCALE



## PROJECT NAME

BEAVER LAKE INDUSTRIAL - BUILDING 3

## PROJECT ADDRESS

304 BEAVER LAKE ROAD  
KELOWNA, BC V4V 1S7

## DRAWING TITLE

COVER

SCALE
DRAWN: BSS
REVIEWED:
PROJECT NO.: Z30457-A
DRAWING NO.:

**A0.00**



1 SE PERSPECTIVE\_1  
SCALE

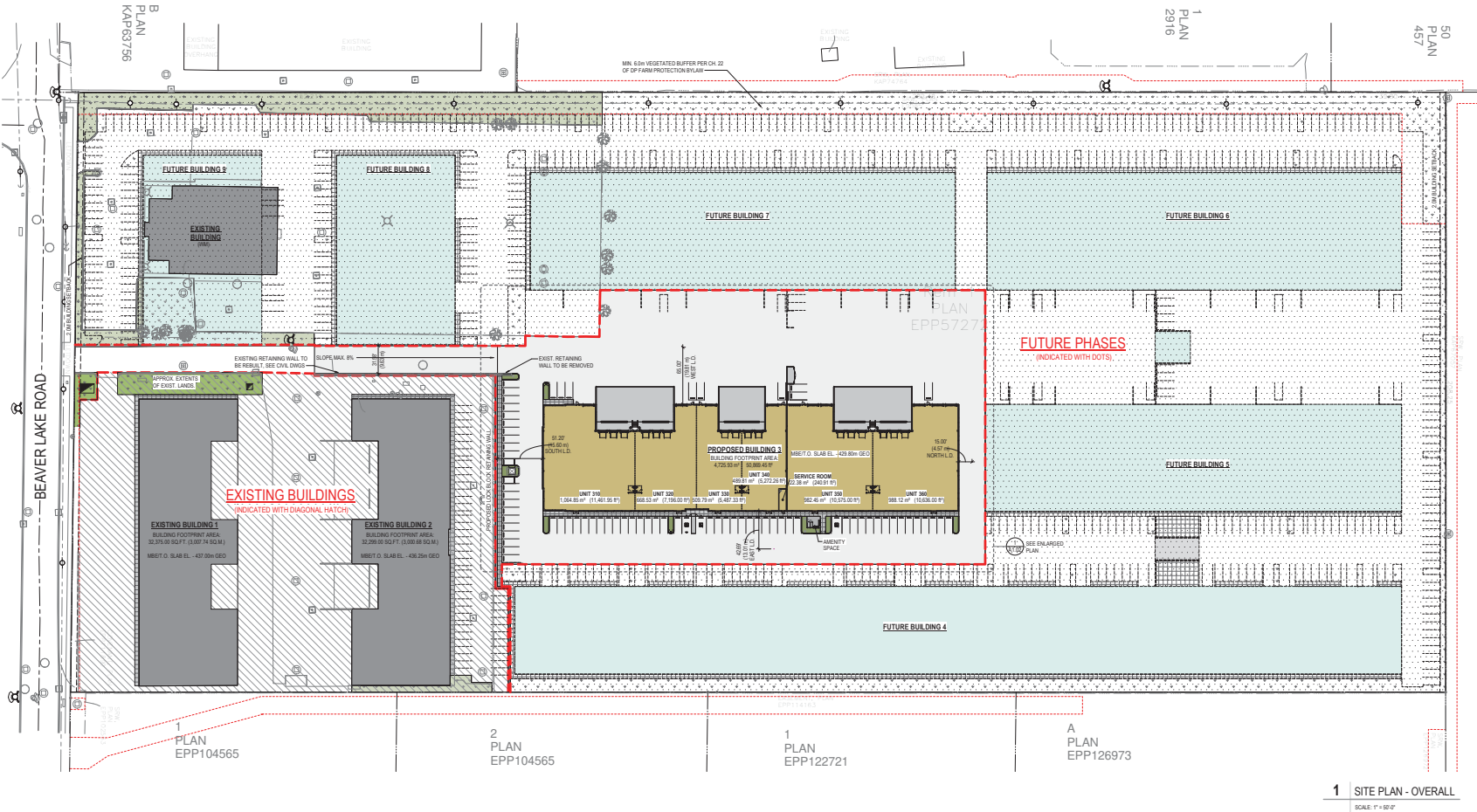


2 SW PERSPECTIVE  
SCALE



3 SE PERSPECTIVE\_2  
SCALE





1 PLAN EPP104565

2 PLAN EPP104565

1 PLAN EPP12721

A PLAN EPP126973

1 SITE PLAN - OVERALL  
 SCALE: 1" = 50'



**ZONING BY-LAW ANALYSIS**  
**PROJECT DATA**  
 CNIC ADDRESS: 304 BEAVER LAKE ROAD, KELOWNA, BC BUILDING USE: MULTI-TENANT MEDIAN HAZARD INDUSTRIAL  
 LEGAL ADDRESS: LOT 1 SECTION 11 TOWNSHIP 20 S 050/005 DIVISION VALE DISTRICT PLAN EPP5272  
 BUILDING AREA (MAIN FLOOR): 4,725.93 SF 58,889.45 SF

**ZONING BY-LAW ANALYSIS (CITY OF KELOWNA)**

1. ZONING: I3 - HEAVY INDUSTRIAL  
 2. SITE AREA: 99,002.67 m<sup>2</sup> (251.7660 ac) 11,386,495.48 m<sup>2</sup> (24.48 ac)

BUILDING	SITE AREA	PROP. SITE COVERAGE	BUILDING AREA	% COVERAGE	MAXIMUM SITE COVERAGE
BUILDING 3	99,002.67 m <sup>2</sup>	14.77%	4,725.93 m <sup>2</sup>	4.78%	79,276.74 m <sup>2</sup>
EXIST. BUILDING 1	99,002.67 m <sup>2</sup>	1.06%	1,068,495.48 m <sup>2</sup>	1.08%	79,276.74 m <sup>2</sup>
EXIST. BUILDING 2	99,002.67 m <sup>2</sup>	1.06%	1,068,495.48 m <sup>2</sup>	1.08%	79,276.74 m <sup>2</sup>
EXIST. BUILDING (MAIN FLOOR)	99,002.67 m <sup>2</sup>	1.31%	1,286,917.41 m <sup>2</sup>	1.30%	79,276.74 m <sup>2</sup>
TOTAL:	12.14%	12,869.82 m <sup>2</sup>	12,869.82 m <sup>2</sup>	12.87%	79,276.74 m <sup>2</sup>

GROSS FLOOR AREA CALCULATIONS		F.A.R. CALCULATIONS	
LEVEL	OCCUPANCY	FLOOR AREA	PROPOSED F.A.R.
MAIN FLOOR	F2	4,725.93 m <sup>2</sup>	58,889.45 m <sup>2</sup>
SECOND FLOOR	F1	798.91 m <sup>2</sup>	1,081.25 m <sup>2</sup>
TOTAL:		5,524.84 m <sup>2</sup>	59,970.70 m <sup>2</sup>

4. BUILDING HEIGHT: 18.00 m (59.05')  
 PROPOSED HEIGHT: 18.30 m (60.00')

5. REQUIRED SETBACKS: REQUIRED: 6.00 m (19.69')  
 PROVIDED: 2.38 m (7.79')

6. LANDSCAPING REQUIREMENTS: LANDSCAPING AREA, LANDSCAPING SPECIES, AND FENCING SHALL COMPLY WITH CITY OF KELOWNA PLANNING REQUIREMENTS.  
 MAXIMUM NUMBER OF PARKING STALLS IN A CONSECUTIVE ROW IS WITH A LANDSCAPED ISLAND OR DRIVE AISLE SEPARATING THE NEXT 15 STALLS.

**7. VEHICLE PARKING AND LOADING**  
 REFERS TO LOCAL ZONING REQUIREMENTS FOR USE CLASSIFICATION AND PARKING REQUIREMENTS. ALL AREAS ARE BASED ON GROSS AREA CALCULATIONS, UNLESS NOTED OTHERWISE.

LEVEL	PARKING CLASSIFICATION	BY-LAW DEFINITION USED	LOCAL BY-LAW REQUIREMENTS (GROSS AREA)	PERCENTAGE OF SPACES AREA (%)	SPACES AREA (m <sup>2</sup> )	SPACES PROVIDED
BUILDING 3	INDUSTRIAL	15 SPACES FOR EACH 100 S.M. (3074.42 S.F.)	4,725.93 m <sup>2</sup>	100	150.00 m <sup>2</sup>	47
						100 S.M. (3074.42 S.F.)
TOTAL VEHICLE PARKING SPACES REQUIRED:			6,454.89 m <sup>2</sup>	58,500.75 m <sup>2</sup>		64.98
TOTAL PARKING SPACES PROVIDED:						79

VEHICLE PARKING PROVIDED	NO. OF SPACES
STANDARD PARKING	71
SMALL CAR STALLS	7
TRUCKS	1
TOTAL	79

**8. BICYCLE PARKING**  
 REFERS TO LOCAL ZONING REQUIREMENTS FOR USE CLASSIFICATION AND PARKING REQUIREMENTS. ALL AREAS ARE BASED ON GROSS AREA CALCULATIONS, UNLESS NOTED OTHERWISE.

LEVEL	BY-LAW DEFINITION USED	LOCAL BY-LAW REQUIREMENTS (GROSS AREA)	PERCENTAGE OF SPACES AREA (%)	BY-LAW SPACES (CLASS 1)	CLASS 1 BY-LAW AREA	LOCAL BY-LAW REQUIREMENTS (GROSS AREA)	PERCENTAGE OF SPACES AREA (%)	BY-LAW SPACES (CLASS 2)	CLASS 2 BY-LAW AREA
BUILDING 3	INDUSTRIAL	4,725.93 m <sup>2</sup>	100	0.05	100.00 m <sup>2</sup>	100.00 m <sup>2</sup>	100	0.05	100.00 m <sup>2</sup>
TOTAL BICYCLE PARKING SPACES REQUIRED:						64.98			
TOTAL BICYCLE PARKING SPACES PROVIDED:									172

- 4 2024/11/07 RE-ISSUED FOR BUILDING PERMIT
- 3 2024/11/07 RE-ISSUED FOR DEVELOPMENT PERMIT
- 2 2024/06/20 ISSUED FOR BUILDING PERMIT
- 1 2024/05/24 ISSUED FOR CLIENT REVIEW



**PROJECT NAME:** BEAVER LAKE INDUSTRIAL - BUILDING 3

**PROJECT ADDRESS:** 304 BEAVER LAKE ROAD, KELOWNA, BC V1V 1S7

**DRAWING TITLE:** SITE PLAN, CONTEXT PLAN & PROJECT INFORMATION

**SCALE:** As Indicated

**DRAWN:** BSS

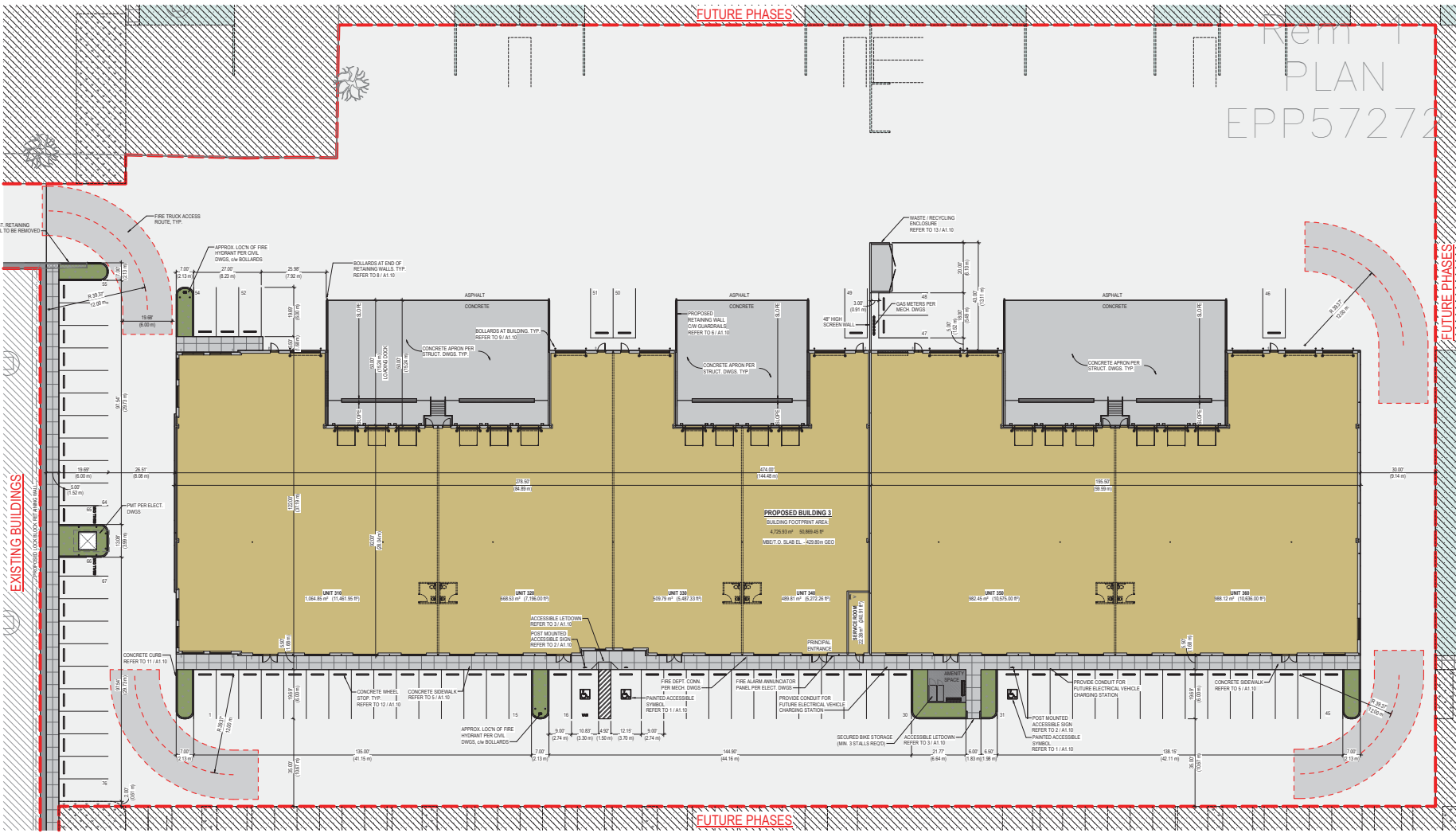
**REVIEWED:**

**PROJECT NO.:** 20247-A

**DRAWING NO.:** A1.01







- 1 20241007 RE-ISSUED FOR BUILDING PERMIT
- 2 20241007 ISSUED FOR DEVELOPMENT PERMIT
- 3 20240524 ISSUED FOR CLIENT REVIEW
- NO DATE Y.M.D. DESCRIPTION
- ISSUES AND REVISIONS

**ZONING BY-LAW ANALYSIS**

**PROJECT DATA**  
 CIVIC ADDRESS: 304 BEAVER LAKE ROAD, KELOWNA, BC BUILDING USE: MULTI-TENANT MEDIUM HAZARD INDUSTRIAL  
 LEGAL ADDRESS: LOT 1 SECTION 11 TOWNSHIP 20 OSOYOOS DIVISION VALE DISTRICT PLAN EPP57272  
 BUILDING AREA (MAIN FLOOR): 4,725.53 sq ft 53,889.45 sq ft

**ZONING BYLAW ANALYSIS (CITY OF KELOWNA)**

**1. ZONING:** IS - HEAVY INDUSTRIAL  
**2. SITE AREA:** 13,282.07 sq ft 159,176 sq ft 1,386,458.48 sq ft [24.86 acres]

**3. SITE COVERAGE - BUILDING AREAS:**

BUILDING	SITE AREA (SQ FT)	PROP. SITE BUILDING AREA COVERAGE (%)	MAXIMUM SITE COVERAGE (%)
BUILDING 3	98,082.07	4.73%	80.00%
EAST BUILDING 1	1,086,458.48	8.19%	80.00%
EAST BUILDING 2	1,086,458.48	8.19%	80.00%
EAST BUILDING 3	1,086,458.48	8.19%	80.00%
<b>TOTAL</b>	<b>3,257,457.52</b>	<b>24.86%</b>	<b>80.00%</b>

**4. BUILDING HEIGHT:**  
 MAXIMUM HEIGHT: 18.00 m (59.00 FT)  
 PROPOSED HEIGHT: 15.07 m (49.50 FT)

**5. REQUIRED SETBACKS:**

REQUIRED	PROVIDED
FRONT YARD (SOUTH): 2.00 m (6.50 FT)	23.76 m (77.80 FT)
SIDE YARD (WEST): 0.00 m (0.00 FT)	22.00 m (72.30 FT)
REAR YARD (EAST): 2.00 m (6.50 FT)	188.00 m (616.80 FT)

**6. LANDSCAPING REQUIREMENTS:**  
 LANDSCAPING AREA, LANDSCAPING SCREENS, AND FENCING SHALL COMPLY WITH CITY OF KELOWNA BYLAW REQUIREMENTS.  
 MAXIMUM NUMBER OF PARKING STALLS IN A CONSECUTIVE ROW IS 15 WITH A LANDSCAPED ISLAND OR DRIVE ISLE SEPARATING THE NEXT 15 STALLS.

**7. VEHICLE PARKING AND LOADING:**  
 REFER TO LOCAL ZONING REQUIREMENTS FOR USE CLASSIFICATION AND PARKING REQUIREMENTS. ALL AREAS ARE BASED ON GROSS AREA CALCULATIONS, UNLESS NOTED OTHERWISE.

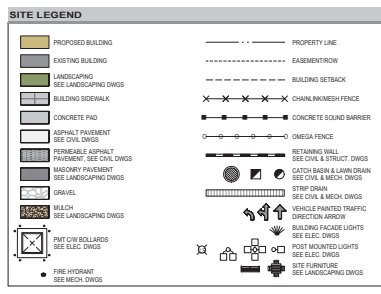
LEVEL	PARKING CLASSIFICATION	BYLAW DEFINITION / METHOD	GROSS AREA (SQ M)	PERCENTAGE OF (SPACES) AREA (%)	SPACES REQUIRED
MAIN FLOOR	INDUSTRIAL	1 SPACE FOR EACH 100 SQ M (10M x 10M)	4,725.53	100%	47
		2.5 SPACES FOR EACH 100 SQ M (10M x 10M)	768.97	16.3%	193
<b>TOTAL VEHICLE PARKING SPACES REQUIRED:</b>			<b>5,434.50</b>	<b>116.3%</b>	<b>240</b>

**8. BICYCLE PARKING:**  
 REFER TO LOCAL ZONING REQUIREMENTS FOR USE CLASSIFICATION AND PARKING REQUIREMENTS. ALL AREAS ARE BASED ON GROSS AREA CALCULATIONS, UNLESS NOTED OTHERWISE.

LEVEL	BYLAW DEFINITION / METHOD	GROSS AREA (SQ M)	PERCENTAGE OF (SPACES) AREA (%)	SPACES REQUIRED	
MAIN FLOOR	INDUSTRIAL	1 SPACE FOR EACH 100 SQ M (10M x 10M)	4,725.53	100%	47
		2.5 SPACES FOR EACH 100 SQ M (10M x 10M)	768.97	16.3%	193
<b>TOTAL BICYCLE PARKING SPACES REQUIRED:</b>			<b>5,434.50</b>	<b>116.3%</b>	<b>240</b>

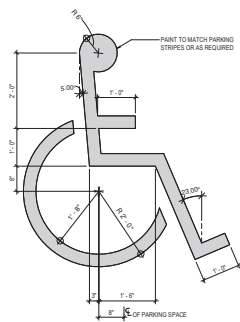
**8. BICYCLE PARKING:** (Continued)

BYLAW DEFINITION / METHOD	CALCULATION	GROSS AREA (SQ M)	PERCENTAGE OF (SPACES) AREA (%)	BYLAW SPACES / CLASS 1 (REQUIRED)	CLASS 1 (REQUIRED)	CLASS 2 (REQUIRED)
BUILDING 3	10.0 SPACE FOR EACH 100 SQ M (10M x 10M)	4,725.53	100%	0.05	100.00	2.36
SECOND FLOOR	10.0 SPACE FOR EACH 100 SQ M (10M x 10M)	768.97	16.3%	0.05	100.00	0.35
<b>TOTAL BICYCLE PARKING SPACES REQUIRED:</b>		<b>5,434.50</b>	<b>116.3%</b>		<b>200.00</b>	<b>2.71</b>

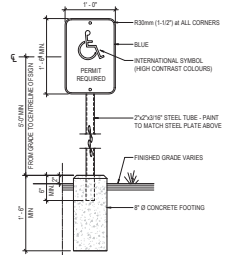


**1 SITE PLAN - ENLARGED**  
 SCALE: 1/8" = 1'-0"

**PROJECT NAME:** BEAVER LAKE INDUSTRIAL - BUILDING 3  
**PROJECT ADDRESS:** 304 BEAVER LAKE ROAD, KELOWNA, BC V1V 1S7  
**DRAWING TITLE:** DETAILED ARCHITECTURAL SITE PLAN  
**SCALE:** AS INDICATED  
**DRAWN:** BSS  
**REVIEWED:**  
**PROJECT NO.:** 202410.0  
**DRAWING NO.:** A1.02

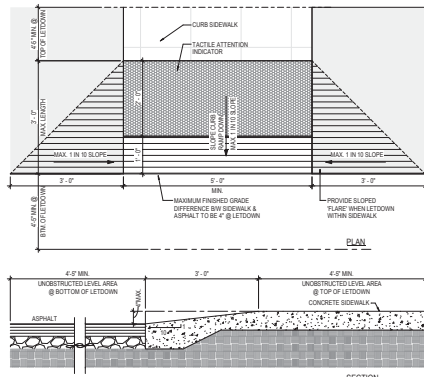


**1 H/C SIGN PAINTED**  
SCALE: 3/4" = 1'-0"

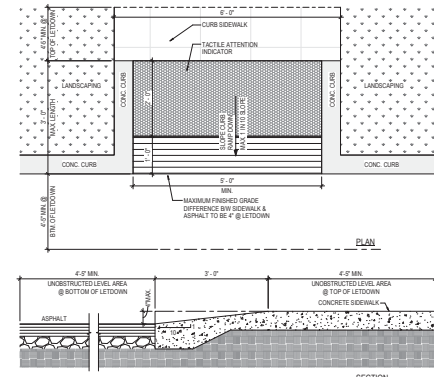


**2 POST MOUNTED H/C SIGN**  
SCALE: 1" = 1'-0"

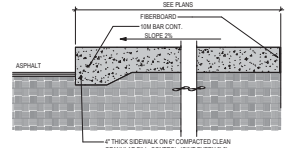
**NOTE:**  
1. SIGN SHOULD BE PROPERLY CENTERED AT FRONT OF PARKING SPACE.  
2. SIGN FACE SHOULD BE LOCATED NO FURTHER THAN 6" FROM THE FRONT OF EACH PARKING SPACE AT A MINIMUM 3' CLEAR.  
3. MOUNT SIGN ON COLUMN OR WALL AT SIM. CONDITION.  
4. WHERE SIGN IS PLACED IN PAVED AREA AT PARKING STALLS, PROVIDE THE CLEAR DIMENSIONS.



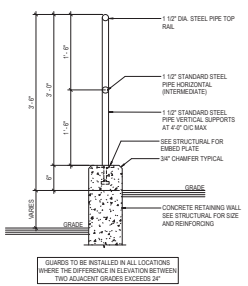
**3 H/C LETDOWN / CURB RAMP WITHIN SIDEWALK**  
SCALE: 3/4" = 1'-0"



**4 H/C LETDOWN / CURB RAMP W/ RETURN CURB SIDES**  
SCALE: 3/4" = 1'-0"

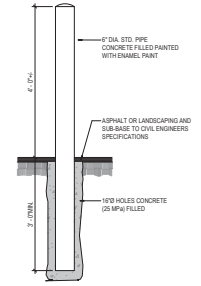


**5 SIDEWALK**  
SCALE: 1/2" = 1'-0"

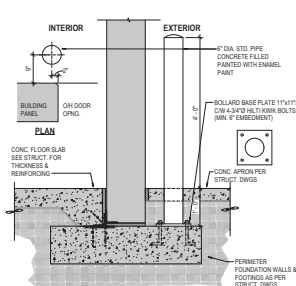


**6 RETAINING WALL GUARDRAIL w/o PICKETS**  
SCALE: 1" = 1'-0"

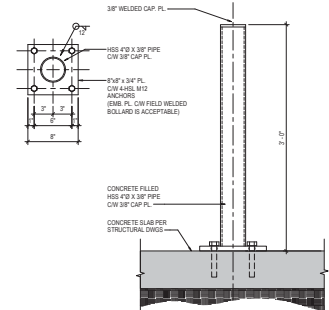
**DELETED**



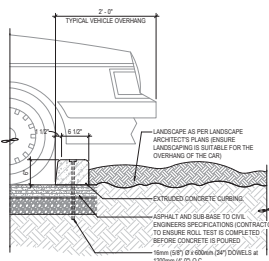
**8 BOLLARD DETAIL**  
SCALE: 3/4" = 1'-0"



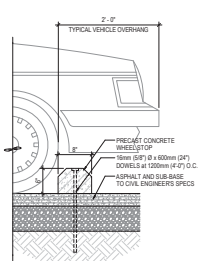
**9 BOLLARD AT BUILDING**  
SCALE: 3/4" = 1'-0"



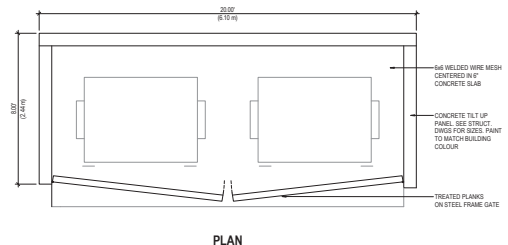
**10 INTERIOR BOLLARD**  
SCALE: 1/2" = 1'-0"



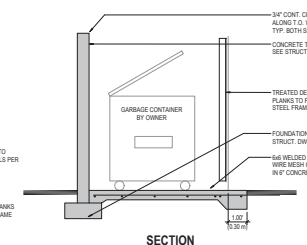
**11 CONCRETE CURB**  
SCALE: 1" = 1'-0"



**12 CONCRETE WHEEL STOP**  
SCALE: 1" = 1'-0"



**13 WASTE + RECYCLING ENCLOSURE - TILT**  
SCALE: 3/8" = 1'-0"



**SECTION**

NO.	DATE	BY	DESCRIPTION
1	20241107	BS	ISSUED FOR BUILDING PERMIT
2	20240802	BS	ISSUED FOR BUILDING PERMIT
3	20240704	BS	ISSUED FOR CLIENT REVIEW

ISSUES AND REVISIONS

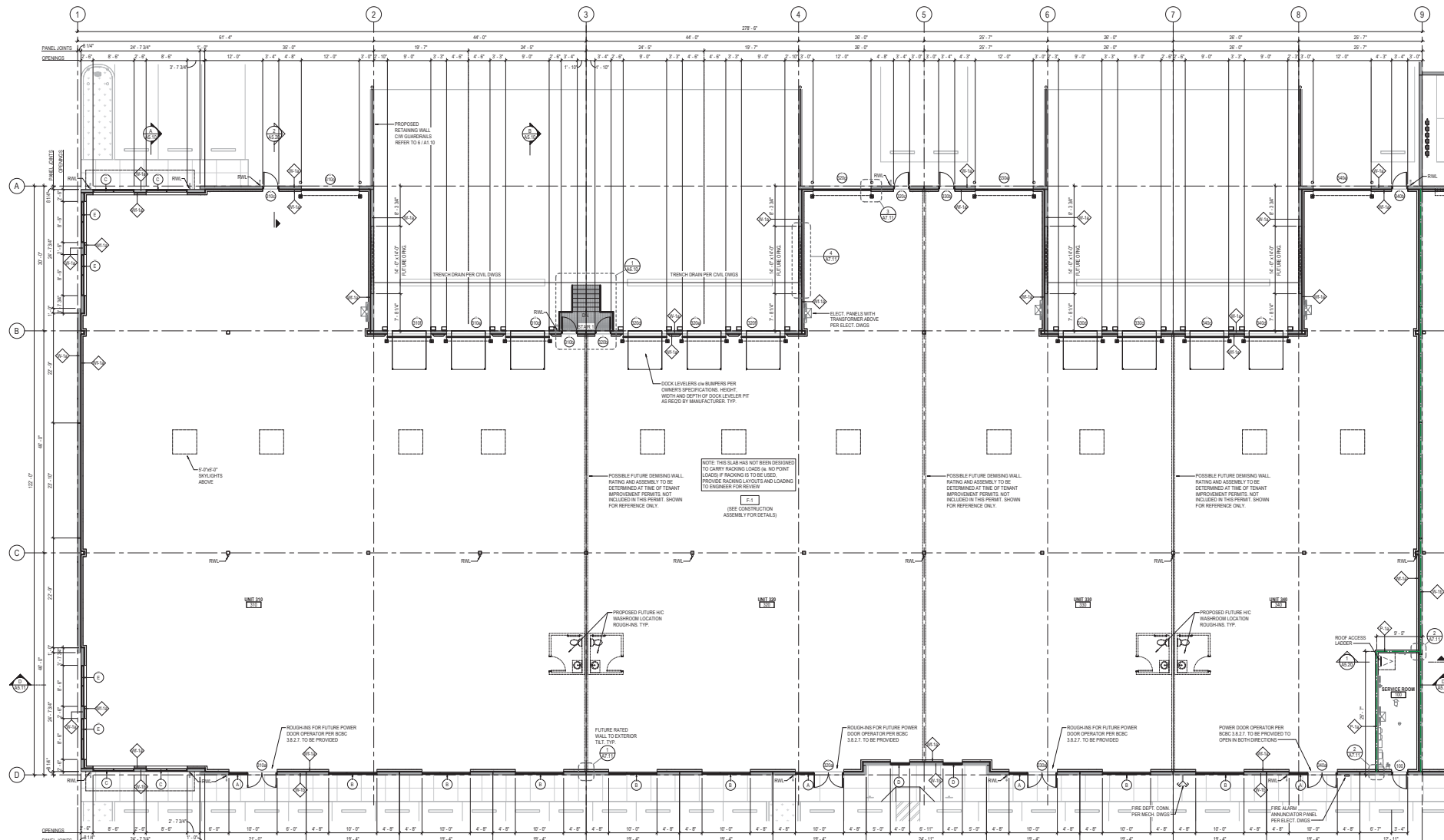
SEAL

PROJECT NAME  
**BEAVER LAKE INDUSTRIAL - BUILDING 3**

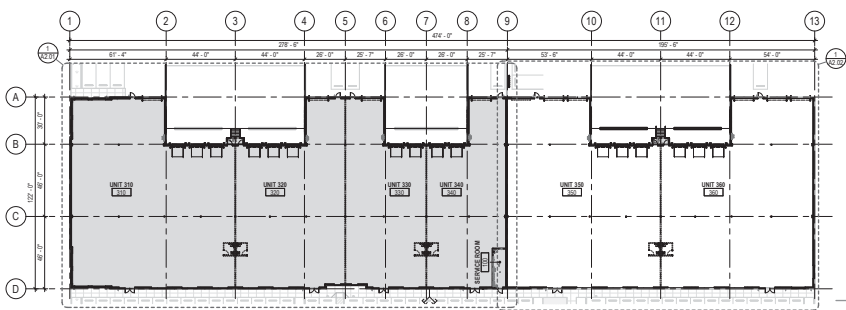
PROJECT ADDRESS  
**304 BEAVER LAKE ROAD  
KELOWNA, BC V4V 1S7**

DRAWING TITLE  
**SITE DETAILS**

SCALE: As Indicated  
DRAWN: BS  
REVIEWED:  
PROJECT NO.: 220473-A  
DRAWING NO.:



**1 MAIN FLOOR PLAN - SOUTH**  
 SCALE: 1/8" = 1'-0"



**2 KEY PLAN**  
 SCALE: 1/32" = 1'-0"

**FIRE RATING**

0 HR F.R.
45 MIN F.R.
1 HR F.R.
1.5 HR F.R.
2 HR F.R.
3 HR F.R.
4 HR F.R.

**WALL CONSTRUCTION**  
 ALL FIRE-RATED WALLS MUST BE CONSTRUCTED TO A STRUCTURE ABOVE.  
 ALL SOUND ATTENUATION WALLS TO BE CONSTRUCTED TO A STRUCTURE ABOVE.  
 ALL WALLS NOT NOTED ABOVE TO CONTINUE TO F.F. ABOVE CEILING.

**WET WALLS**  
 JANITOR ROOM, CHANGE ROOMS, LOCKER ROOMS AND HARBORCRAFT: REPLACE GYPSUM BOARD W/ GREEN BOARD IN ALL WET WALLS.

This drawing has been prepared solely for the use of ARGUS PROPERTIES LTD. and there are no representations of any kind made by KP Architecture Ltd. to any party with whom KP Architecture Ltd. has not entered into a contract. This drawing shall not be used for construction purposes until it is sealed for the purpose.

- 4 20241105 RE-ISSUED FOR BUILDING PERMIT
  - 3 20241105 ISSUED FOR DEVELOPMENT PERMIT
  - 2 20241105 ISSUED FOR BUILDING PERMIT
  - NO DATE Y.M.D. DESCRIPTION
- ISSUES AND REVISIONS



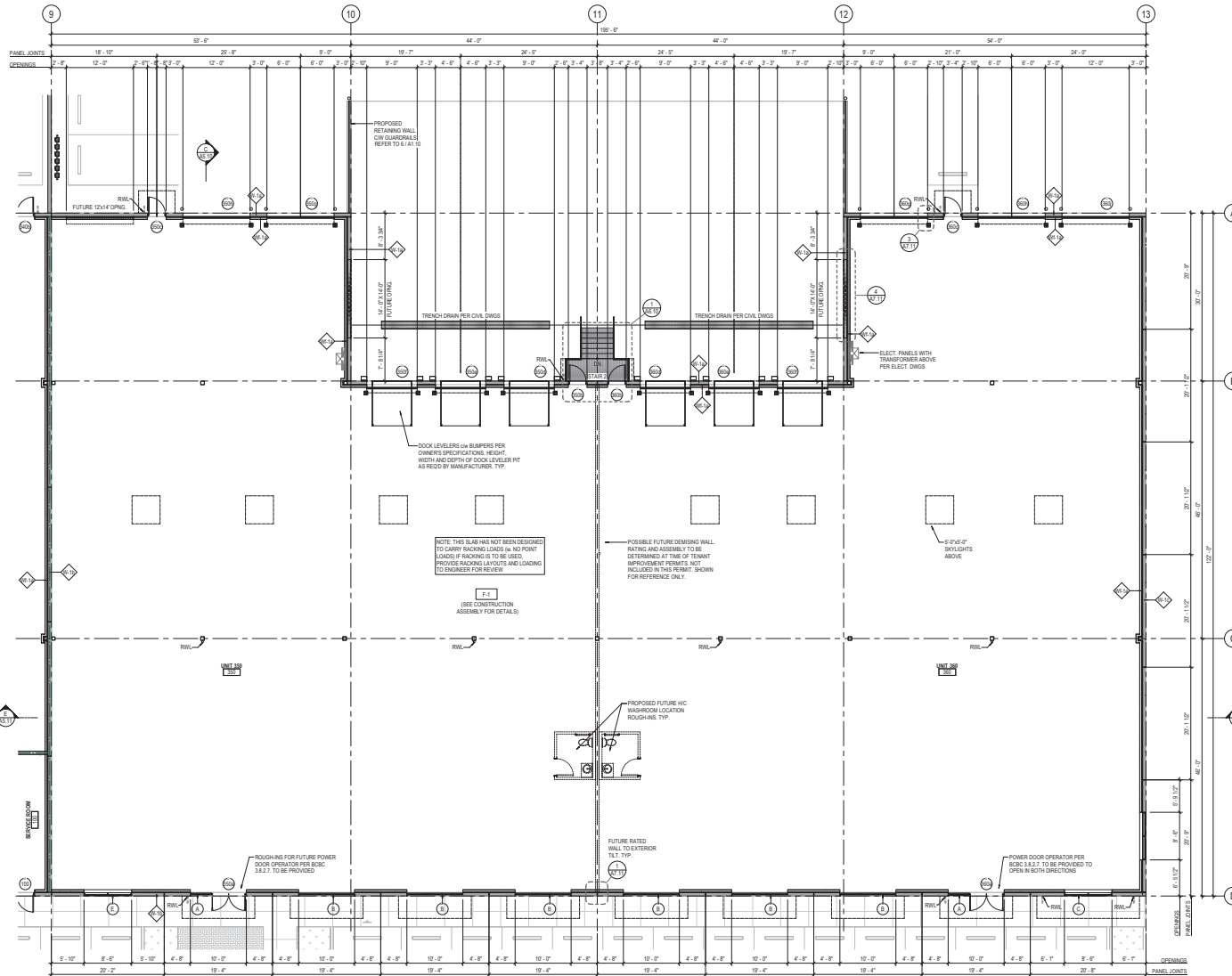
PROJECT NAME  
**BEAVER LAKE INDUSTRIAL - BUILDING 3**

PROJECT ADDRESS  
 304 BEAVER LAKE ROAD  
 KELOWNA, BC V1V 1S7

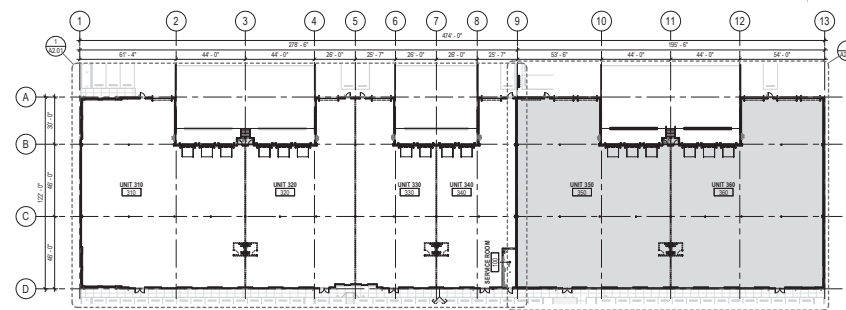
DRAWING TITLE  
**MAIN FLOOR - SOUTH**

SCALE: All Indicated  
 DRAWN: BSS  
 REVIEWED:  
 PROJECT NO: 202407-A  
 DRAWING NO:





1 MAIN FLOOR PLAN - NORTH  
SCALE: 1/8" = 1'-0"



2 KEY PLAN  
SCALE: 1/32" = 1'-0"

FIRE RATING	
---	0HR F.R.R.
---	45 MIN F.R.R.
---	1HR F.R.R.
---	1.5HR F.R.R.
---	2HR F.R.R.
---	3HR F.R.R.
---	4HR F.R.R.

---	MIN. OF TRAVEL TRAVEL DISTANCE
---	EXIT SIGN
---	FIRE DOOR SIGN
---	ON VISIBLE SIDE OF DOOR WHEN OPEN

**WALL CONSTRUCTION**  
ALL FIRE RATED WALLS MUST BE CONSTRUCTED TO AN STRUCTURE ABOVE.  
ALL SOUND ATTENUATION WALLS TO BE CONSTRUCTED TO AN STRUCTURE ABOVE.  
ALL WALLS NOT NOTED ABOVE, TO CONTINUE TO 1'-0" ABOVE CEILING.

**WET WALLS**  
JANITOR ROOM, CHANGE ROOMS, LOCKER ROOMS AND WASHROOMS: REDUCE DRIPSPREAD BOARD w/ GREEN BOARD @ ALL WET WALLS.

**GENERAL NOTES**  
SEE SCHEDULES FOR ALL FLOOR, WALL, CEILING, AND ROOF ASSEMBLIES. GENERAL CONTRACTOR TO CONFIRM ALL FIRE (SMOKE RATED) ASSEMBLIES WITH IBC LISTINGS AND LOCAL BUILDING CODES AS NOTED IN SPECIFIC CONSTRUCTION ASSEMBLY. REFER TO LARGEST SCALE PLANS FOR DETAILED INFORMATION.  
**EXIT SIGNAGE**  
EXIT SIGNAGE TO BE PROVIDED PER ELECTRICAL DRAWINGS.  
**FIRESTOPPING**  
FIRESTOPPING SHALL COMPLY TO CANULC-S115-A1 STANDARDS.  
**FINISHES**  
FINISHES MAY NOT BE SHOWN ON THESE DRAWINGS. FINISHES ARE TO BE SPECIFIED BY OWNER OR INTERIOR DESIGNER AT THE OWNER'S REQUEST. INCLUDES ALL INTERIOR FINISHES INCLUDING MILLWORK, CEILING TYPES AND INTERIOR SIGNAGE.  
UNLESS SPECIFICALLY IDENTIFIED IN THE OWNER'S CONTRACT DOCUMENTS, THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR:  
- MILLWORK OR  
- INTERIOR SIGNAGE.  
ALL FINISHES MUST COMPLY WITH CURRENT PROVINCIAL BUILDING CODE, CURRENT EDITION AND MUST MEET THE FLAME SPREAD AND SMOKE DEVELOPMENT REQUIREMENTS CONTAINED WITHIN:  
**DOOR SIGNAGE**  
ALL DOORS NOT SPECIFIED IN DOOR SCHEDULE OR DOOR HARDWARE SCHEDULE SHALL BE BY THE OWNER OR OTHERS.

**FIRE SAFETY PLAN**  
FIRE SAFETY PLAN TO BE PROVIDED BY FIRE PROTECTION CONSULTANT, INSTALLED TO THEIR REQUIREMENTS AND TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION.  
**PORTABLE FIRE EXTINGUISHERS**  
FIRE EXTINGUISHERS SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE APPROPRIATE PROVINCIAL FIRE CODE AND TO THE SATISFACTION OF THE FIRE PROTECTION CONSULTANT.

**SPRINKLERED BUILDING**  
BUILDING IS FULLY SPRINKLERED PER CODE ANALYSIS. DRAWINGS AND PERMIT APPLICATION FOR SPRINKLER SYSTEMS ARE THE RESPONSIBILITY OF OTHERS. DESIGN PARAMETERS ARE PER THE MECHANICAL CHECKS (DATE) DRAWINGS. PULL STATIONS AND FIRE ALARM SPECIFICATIONS FOR RETAILERS AND MONITORING ARE PER THE ELECTRICAL DRAWINGS.



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NO.	DATE	Y/M/D	DESCRIPTION	
4	2024/11/05		RE-ISSUED FOR BUILDING PERMIT	
3	2024/11/05		ISSUED FOR DEVELOPMENT PERMIT	
2	2024/08/28		ISSUED FOR BUILDING PERMIT	
1	NO.	DATE	Y/M/D	DESCRIPTION



PROJECT NAME  
**BEAVER LAKE INDUSTRIAL - BUILDING 3**

PROJECT ADDRESS  
304 BEAVER LAKE ROAD  
KELOWNA, BC V1Y 1S7

DRAWING TITLE  
**MAIN FLOOR - NORTH**

SCALE	AS INDICATED
DRAWN	BSS
REVISED	
PROJECT NO.	202407-A
DRAWING NO.	

**A2.02**



**ROOF NOTES**

SEE SCHEDULES FOR ALL FLOOR, WALL, CEILING, AND ASSEMBLY. GENERAL CONTRACTOR TO CONFORM ALL FIRE / RATED ASSEMBLIES WITH I.C. LISTINGS AND/OR LOCAL BUILDING CODES AS NOTED IN SPECIFIC CONSTRUCTION ASSEMBLY. UNLESS NOTED OTHERWISE, ALL SPOT ELEVATIONS ARE TO BOTTOM OF ROOF DECK (R.O.D.).

- ALL ROOF DRAINS PER MECHANICAL DRAWINGS.
- ROOF DRAINAGE TO BE DRAINED TO STORM SYSTEM PER MECHANICAL AND CIVIL DRAWINGS AND SPECIFICATIONS.
- POSITIVE DRAINAGE IS GENERALLY PROVIDED BY SLOPING STRUCTURE. ROOFING CONTRACTOR TO PROVIDE SLOPED INSULATION OR CROCKETS AT ANY LOCATIONS WHERE POSITIVE DRAINAGE IS REQUIRED.
- ROOF DRAIN SCUPPERS AND ROOFING TO BE IN ACCORDANCE WITH LOCAL CODES AND BY LAWS AND LOCAL BUILDING CODES. ROOFING CONTRACTOR TO SEAL ANY GAPS TYPICAL.
- SECURE METAL BUSHINGS AND MUST EXTEND PAST THE WEATHER METAL SHEET TO EDGE.
- OVERFLOW SCUPPERS AS REQUIRED AND AS NOTED ON PLANS. CONTRACTOR TO PROVIDE SCUPPER CRACKING OR CORE HOLES TO SATISFY PLUMBING CODE TABLE 2.4.1.4.1. MINIMUM THICKNESS AND SLOPING AS REQUIRED.
- METAL SCUPPERS MUST HAVE CONTINUOUS SIDEL METAL FLANGE MUST BE CONTINUOUS W/ ROOFING SCUPPER.
- WATER CUP OFF MASTIC MUST BE UNDER CONSTANT COMPRESSION.

ROOFING CONTRACTOR TO CONFIRM ALL ASPECTS OF ROOF DESIGN WITH CHAIRMAN ROOFING CONTRACTOR/CONSULTANT. WARRANTY FOR ROOFING MEMBRANE TO BE PROVIDED BY MANUFACTURER. COPY OF WARRANTY DOCUMENTATION TO BE PROVIDED TO MAIN GROUP OF COMPANIES.

DOOR OPENINGS FOR MECHANICAL EQUIPMENT ALL SIZES, LOCATIONS AND CURBING ASSOCIATED WITH EQUIPMENT SHOWN AS TO BE COMPARED WITH MECHANICAL DRAWINGS AND SUPPLIERS SPECIFICATIONS INCLUDING OPENINGS TO BE CONFIRMED W/ STRUCTURAL.

**CEILING NOTES**

GENERAL CONTRACTOR TO CONFORM ALL FIRE / RATED ASSEMBLIES WITH I.C. LISTINGS AND/OR LOCAL BUILDING CODES AS NOTED IN SPECIFIC CONSTRUCTION ASSEMBLY.

CLEAR HEIGHT US CEILING IS INDICATED RELATIVE TO FLOORLEVEL INDICATED ON BUILDING SECTIONS AND SECTIONS AT EACH LOCATION. REFER TO REFLECTED CEILING PLANS FOR CEILING FINISHES.

REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR LIGHTING SCHEDULE.

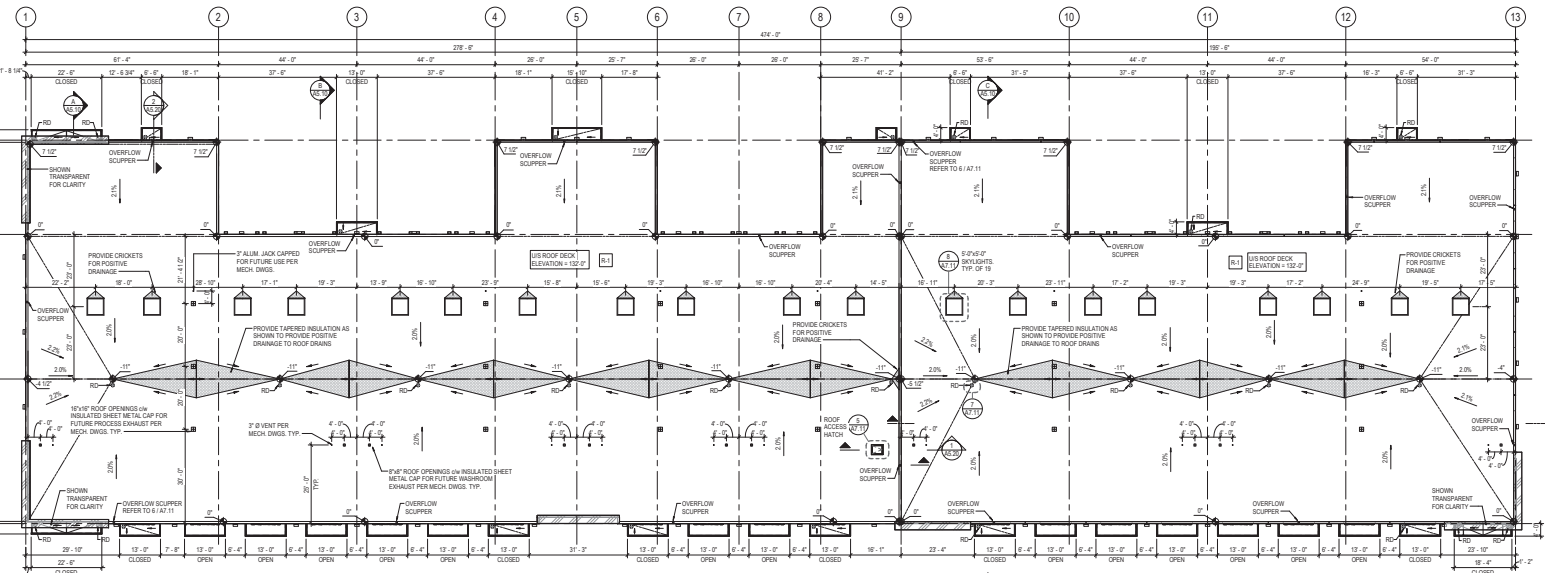
SITE VERIFY ALL MEASUREMENTS SO THAT WINDOW TREATMENTS ARE PROPERLY CENTERED WITH INTERIOR & EXTERIOR WALLS.

WHEREVER POSSIBLE, CENTER CEILING TILE (NOT GRID) WITH ROOM.

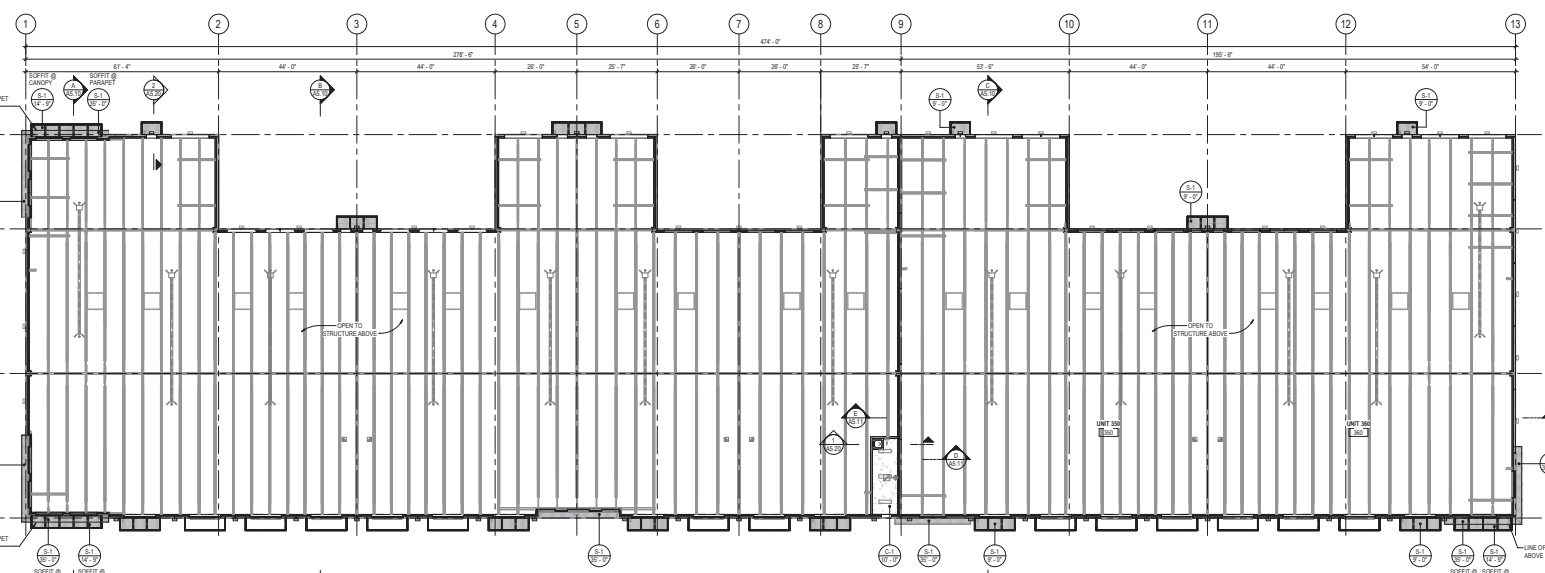
WHENEVER POSSIBLE, CENTER ALL LIGHTING, AIR TERMINALS, SPRINKLERS AND HVAC EQUIPMENT WITHIN THE CEILING TILE IN WHICH THEY LOCATED.

**SYMBOLS**

- INDOOR AIR DIFFUSER
- WINDOW TREATMENT
- PROJECTOR SCREEN - RECESSED
- SUPPLY AIR DIFFUSER
- RETURN AIR DIFFUSER
- EXHAUST AIR DIFFUSER
- TYPICAL WASHROOM COVE
- LIGHT AND VENT
- OPEN EGG CRATE GRILL
- SPRINKLER
- SPRINKLER
- SECURITY CAMERA
- EXIT SIGN - CEILING MOUNTED
- EXIT SIGN - WALL MOUNTED
- FLUORESCENT LIGHT
- RECESSED FLUORESCENT POT LIGHTS
- LIGHT - WALL MOUNTED
- SMOKE DETECTOR
- WINDOW TREATMENT SYMBOL
- SHADE TYPE (REFER TO LIST OF MATERIALS)
- MODEL TYPE (REFER TO LIST OF MATERIALS)
- MATERIAL (REFER TO LIST OF MATERIALS)
- CEILING HEIGHT
- START POINT OF ACT SUSPENDED CEILING GRID
- FLUSH MOUNTED CEILING ACCESS
- WAGON FLANGES W/ DRYPALL
- INSERT FACE
- ADJUSTABLE TINT LIND
- ADJUSTABLE MIRROR WALL MTD
- CORNER MOUNTED CONVEX MIRROR - WALL MOUNTED
- CEILING MOUNTED PROJECTOR AND SCREEN



**2 ROOF PLAN**  
SCALE: 1/8" = 1'-0"



**1 MAIN FLOOR REFLECTED CEILING PLAN**  
SCALE: 1/8" = 1'-0"



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NO.	DATE	Y.M.D.	DESCRIPTION
4	20241105		RE-ISSUED FOR BUILDING PERMIT
3	20241105		ISSUED FOR DEVELOPMENT PERMIT
2	20240815		ISSUED FOR BUILDING PERMIT
1			

ISSUES AND REVISIONS  
SCALE



PROJECT NAME  
**BEAVER LAKE INDUSTRIAL - BUILDING 3**

PROJECT ADDRESS  
304 BEAVER LAKE ROAD  
KELOWNA, BC V4V 1S7

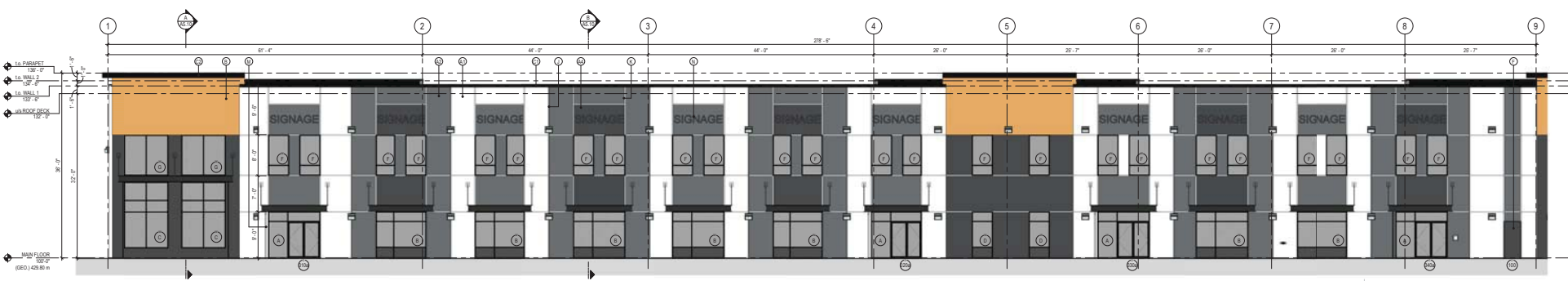
DRAWING TITLE  
**ROOF PLAN & REFLECTED CEILING PLAN**

SCALE	AS ISSUED
DRAWN	BSS
REVIEWED	
PROJECT NO.	202407-4
DRAWING NO.	

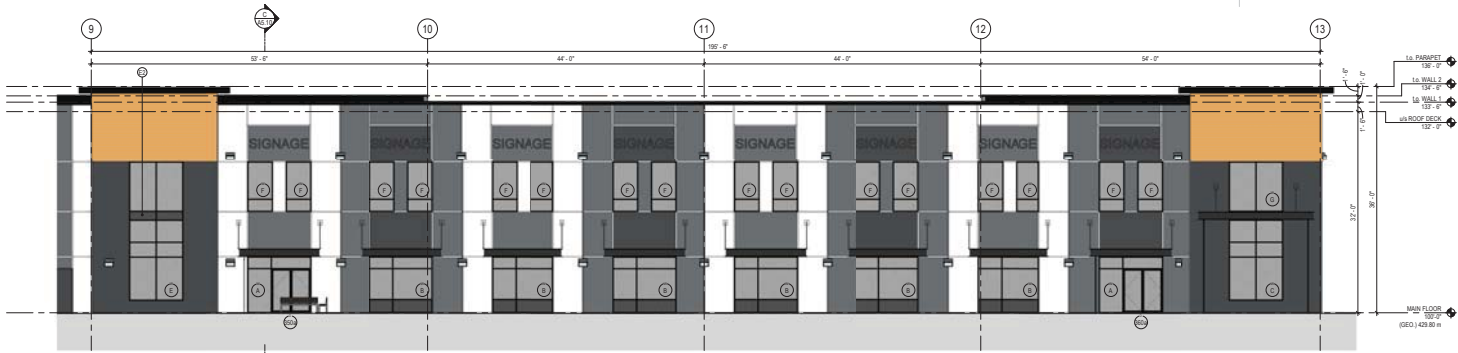
PROJECT NORTH  
**A2.11**



**1 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**2 EAST ELEVATION - SOUTH**  
SCALE: 1/8" = 1'-0"

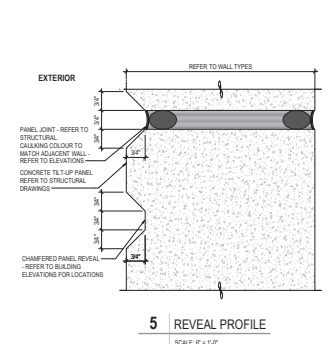


**3 EAST ELEVATION - NORTH**  
SCALE: 1/8" = 1'-0"

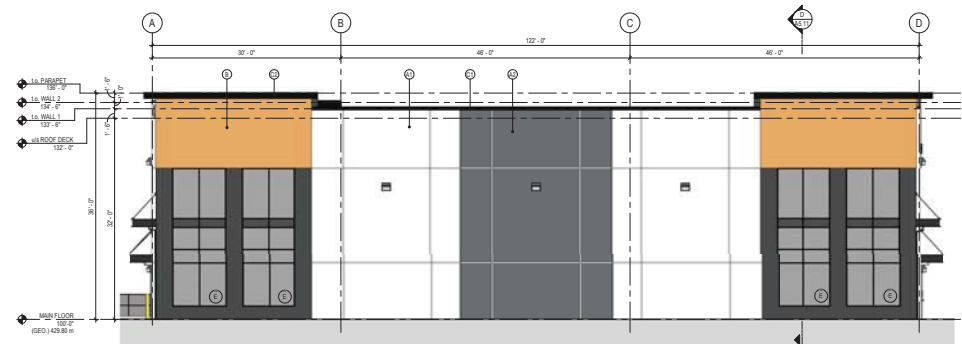
TYPE	DESCRIPTION
A1	CONCRETE TILT PANEL COLOUR: C1
A2	CONCRETE TILT PANEL COLOUR: C2
A3	CONCRETE TILT PANEL COLOUR: GREY SIMILAR TO MATCH FIR METAL CLADDING COLOUR
A4	CONCRETE TILT PANEL COLOUR: C4
B	CONCRETE TILT PANEL W/ CLADDING MATERIAL LUD PANEL FIR METAL CLADDING 8" WIDTH VERTICAL PANELS
C1	PARAPET CAP FLASHING COLOUR: WOODST BLACK
C2	PARAPET OVERHANG FLASHING COLOUR: WOODST BLACK
D	CURTAIN WALL STOREFRONT MULLION BLACK ANODIZED
E1	CURTAIN WALL STOREFRONT GLAZING COLOUR: GREY TINT SEE SLIDING SCHEDULE
E2	CURTAIN WALL STOREFRONT GLAZING SPANDREL GLASS COLOUR: HARBONY GREY SEE SLIDING SCHEDULE
F	STEEL MAIN DOOR COLOUR: C4
G1	OVERHEAD ROLLING STEEL DOOR COLOUR: C1
G2	OVERHEAD ROLLING STEEL DOOR COLOUR: C1
H	STEEL CANOPY COLOUR: C1
J	3/4" CONCRETE PANEL JOINT SEE DETAIL S4M 30 COLOUR TO MATCH ASSOCIATED PANEL
K	3/4" CONCRETE PANEL REVEAL SEE DETAIL S4M 19 COLOUR TO MATCH ASSOCIATED PANEL
L	BOLLARDS PAINTED WITH PAVEMENT PAINT COLOUR: YELLOW
M	RAIN WATER LASKER COLOUR TO MATCH ASSOCIATED PANEL
N	BUILDING SIGNAGE REPAIRS PERMIT REQ'D FOR SIGNAGE

\*THE MATERIAL LEGEND ITEMS ARE SHOWN ONLY ON A SMALL AREA OF THE ELEVATIONS. HOWEVER, THEY APPLY TO ALL SIMILARLY MARKED AREAS THROUGHOUT THE BUILDING.

PROJECT COLOURS	
C1 BENJAMIN MOORE CHANTILLY LACE (OC-68)	
C2 BENJAMIN MOORE CHARCOAL SLATE (HC-178)	
C3 BENJAMIN MOORE TUMBLING STONES (OR SIMILAR TO MATCH FIR METAL CLADDING COLOUR)	
C4 BENJAMIN MOORE GRAPHITE (103)	
C5 DALLIX BLACK BLACK (1644)	



**5 REVEAL PROFILE**  
SCALE: 1/4" = 1'-0"



**4 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

NO.	DATE	Y.M.D.	DESCRIPTION
4	2024/11/05		RE-ISSUED FOR BUILDING PERMIT
3	2024/11/05		ISSUED FOR DEVELOPMENT PERMIT
2	2024/08/27		ISSUED FOR BUILDING PERMIT
1			NO. DATE Y.M.D. DESCRIPTION

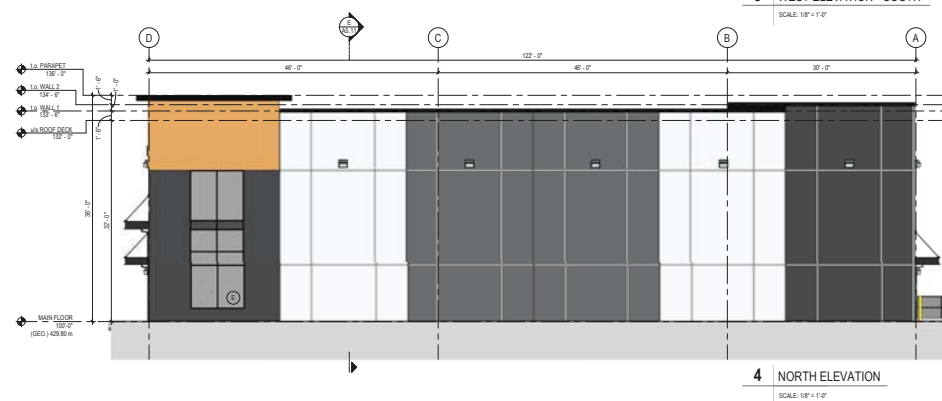
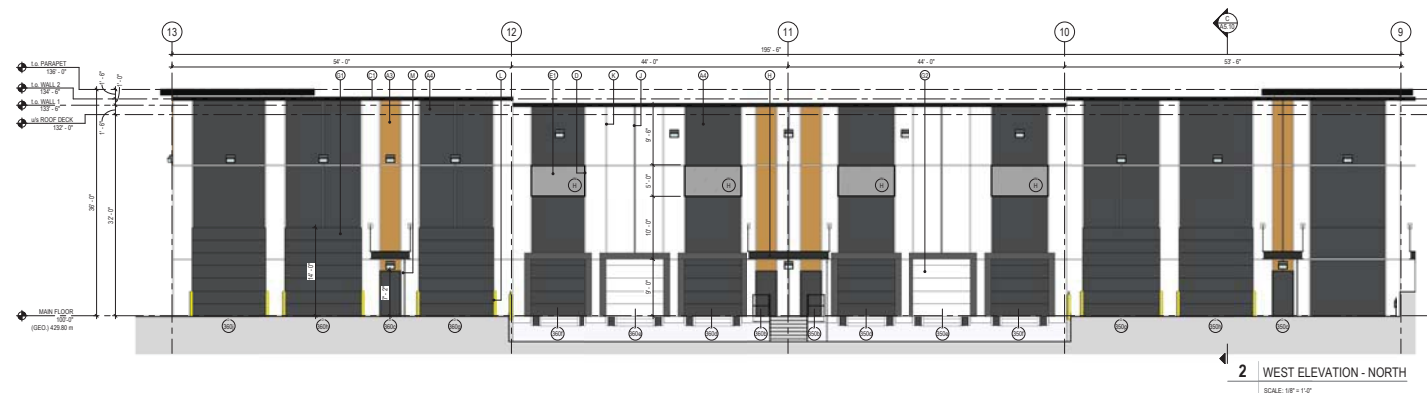
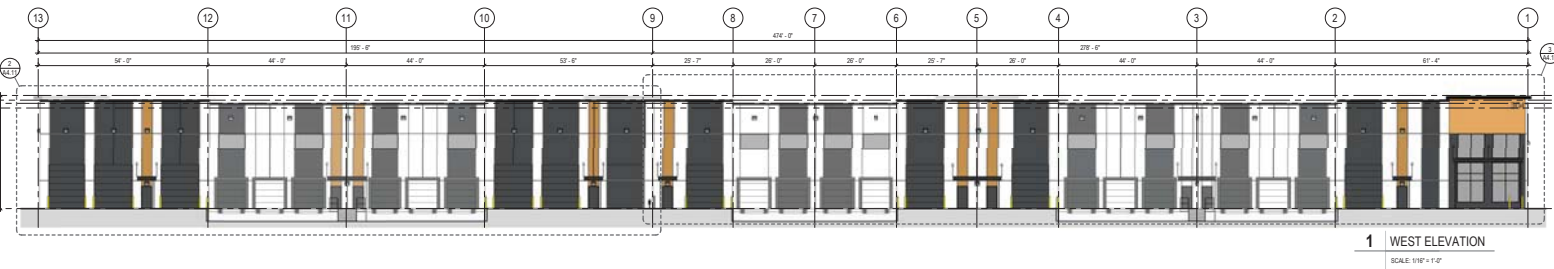


PROJECT NAME  
**BEAVER LAKE INDUSTRIAL - BUILDING 3**

PROJECT ADDRESS  
304 BEAVER LAKE ROAD  
KELOWNA, BC V1V 1S7

DRAWING TITLE  
**BUILDING ELEVATIONS - EAST & SOUTH**

SCALE	AS ISSUED
DRAWN	BSS
REVISED	
PROJECT NO.	220407-A
DRAWING NO.	



MATERIAL LEGEND		PROJECT COLOURS	
TYPE	DESCRIPTION	C1	BENJAMIN MOORE CHANTILLY LACE (OC-65)
A1	CONCRETE TILT PANEL: COLOUR: C1	C2	BENJAMIN MOORE CHARCOAL SLATE (HC-178)
A2	CONCRETE TILT PANEL: COLOUR: C2	C3	BENJAMIN MOORE TUMBLING STONES (OR SIMILAR TO MATCH FFR METAL CLADDING COLOUR)
A3	CONCRETE TILT PANEL: COLOUR: C3 (OR SIMILAR TO MATCH FFR METAL CLADDING COLOUR)	C4	BENJAMIN MOORE GRAPHITE (HG)
A4	CONCRETE TILT PANEL: COLOUR: C4	C5	DULUX BLACK BLACK (1640)
B	CONCRETE TILT PANEL W/ GLAZING MATERIAL, LUB PANEL, TYP METAL GLAZING, 8" SMOOTH V-GROOVE PANELS		
C1	PARAPET CAP FLASHING: COLOUR: WINTER BLACK		
C2	PARAPET OVERHANG FLASHING: COLOUR: WINTER BLACK		
D	CURTAIN WALL STOREFRONT MULLION: BLACK ANODIZED		
E1	CURTAIN WALL STOREFRONT GLAZING: COLOUR: GREY TINT (SEE GLAZING SCHEDULE)		
E2	CURTAIN WALL STOREFRONT GLAZING (SPANDREL GLASS): COLOUR: HARBOR GREY (SEE GLAZING SCHEDULE)		
F	STEEL WINDOW: COLOUR: C3		
G1	OVERHANG ROLLING STEEL DOOR: COLOUR: C4		
G2	OVERHANG ROLLING STEEL DOOR: COLOUR: C1		
H	STEEL CANOPY: COLOUR: C5		
J	8" CONCRETE PANEL JOINT: SEE DETAIL 308.30		
K	GLAZING TO MATCH ASSOCIATED PANEL: COLOUR: TO MATCH ASSOCIATED PANEL		
L	8" CONCRETE PANEL REVEAL: SEE DETAIL 308.30		
M	GLAZING TO MATCH ASSOCIATED PANEL: COLOUR: TO MATCH ASSOCIATED PANEL		
N	BUILDING SIGNAGE: (SEPARATE PERMIT REQ'D FOR SIGNAGE)		

\*\*\*THE MATERIAL LEGEND ITEMS ARE SHOWN ONLY ON A SMALL AREA OF THE ELEVATIONS. HOWEVER, THEY APPLY TO ALL SIMILARLY MARKED AREAS THROUGHOUT THE BUILDING.

NO.	DATE	BY	DESCRIPTION
4	2024/11/05	BS	RE-ISSUED FOR BUILDING PERMIT
3	2024/11/05	BS	ISSUED FOR DEVELOPMENT PERMIT
2	2024/08/01	BS	ISSUED FOR BUILDING PERMIT
1	2024/07/10	BS	ISSUED FOR BUILDING PERMIT

ISSUES AND REVISIONS

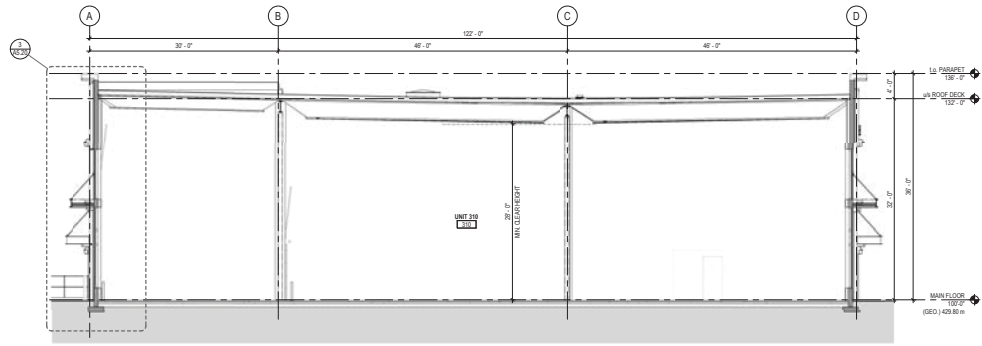


PROJECT NAME  
**BEAVER LAKE INDUSTRIAL - BUILDING 3**

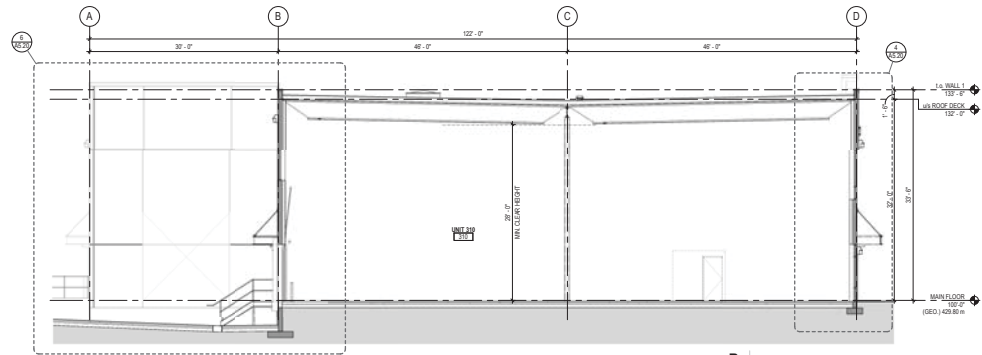
PROJECT ADDRESS  
304 BEAVER LAKE ROAD  
KELOWNA, BC V1V 1S7

DRAWING TITLE  
**BUILDING ELEVATIONS - WEST & NORTH**

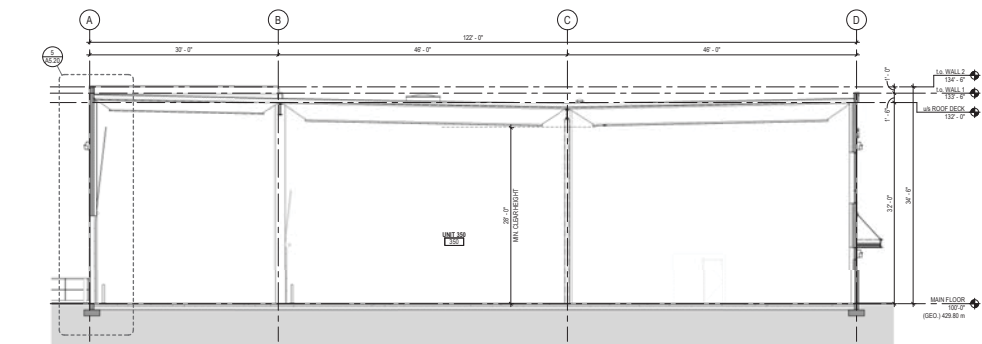
SCALE	AS INDICATED
DRAWN	BS
REVIEWED	
PROJECT NO.	20247-A
DRAWING NO.	A4.11



**A BUILDING SECTION**  
SCALE: 1/8" = 1'-0"



**B BUILDING SECTION**  
SCALE: 1/8" = 1'-0"



**C BUILDING SECTION**  
SCALE: 1/8" = 1'-0"

FIRE RATING	
	0HR F.R.R.
	45 MIN F.R.R.
	1HR F.R.R.
	1.5HR F.R.R.
	2HR F.R.R.
	3HR F.R.R.
	4HR F.R.R.

EXIT  
 FIRE DOOR SIGN  
 FIRE DOOR SIGN  
 (ON VISIBLE SIDE OF DOOR WHEN OPEN)

**WALL CONSTRUCTION**

ALL FIRE RATED WALLS MUST BE CONSTRUCTED TO  
 IN STRUCTURE ABOVE.  
 ALL SOUND ATTENUATION WALLS TO BE  
 CONSTRUCTED TO IN STRUCTURE ABOVE.  
 ALL WALLS NOT NOTED ABOVE, TO CONTINUE TO  
 1'-0" ABOVE CEILING.

**WET WALLS**

JANITOR ROOM, CHANGE ROOMS, LOCKER ROOMS  
 AND WASHROOMS - REPLACE CHIPSUR BOARD w/  
 GREEN BOARD AT ALL WET WALLS.

ABBOTSFORD  
 EDMONTON  
 VANCOUVER  
**KPA**  
 KP Architecture Ltd.  
 ABBOTSFORD OFFICE  
 1501 WESTERN AVENUE, ABBOTSFORD, BC, V2S 1G9  
 T 604 667-8877 F 604 662-0282 WWW.KPAARCH.COM  
**ARGUS**  
 PROPERTIES LTD.

**Krahn**  
 GROUP OF COMPANIES  
 ABBOTSFORD • EDMONTON • VANCOUVER • TORONTO

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 for the purpose.

NO.	DATE	Y/M/D	DESCRIPTION
4	2024/1/05		RE-ISSUED FOR BUILDING PERMIT
3	2024/1/05		ISSUED FOR DEVELOPMENT PERMIT
2	2024/08/02		ISSUED FOR BUILDING PERMIT

**ISSUES AND REVISIONS**

SCALE



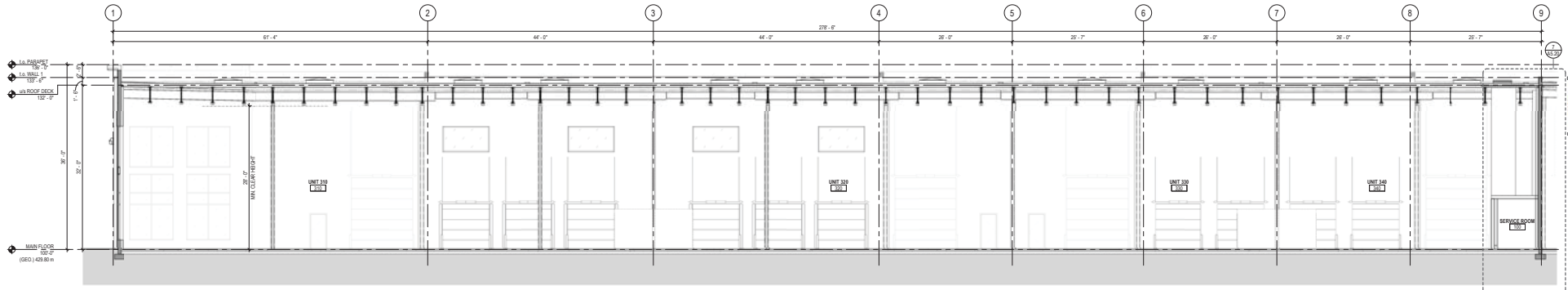
PROJECT NAME  
**BEAVER LAKE INDUSTRIAL  
 - BUILDING 3**

PROJECT ADDRESS  
 304 BEAVER LAKE ROAD  
 KELOWNA, BC V4V 1S7

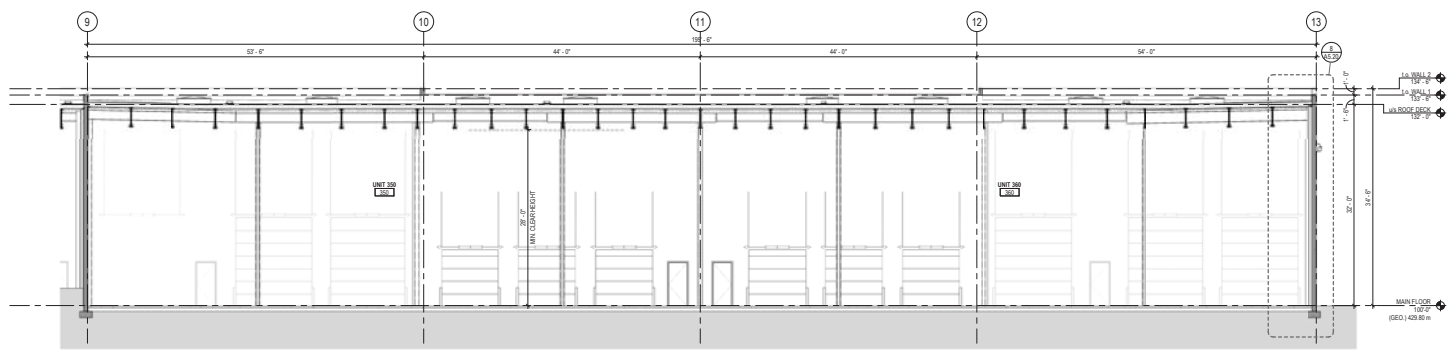
DRAWING TITLE  
**BUILDING SECTIONS**

SCALE	As Indicated
DRAWN	BSS
REVIEWED	
PROJECT NO.	220427-A
DRAWING NO.	

**A5.10**



**D BUILDING SECTION**  
SCALE: 1/8" = 1'-0"



**E BUILDING SECTION**  
SCALE: 1/8" = 1'-0"

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NO.	DATE	Y/M/D	DESCRIPTION
4	2024	11/05	RE-ISSUED FOR BUILDING PERMIT
3	2024	11/05	ISSUED FOR DEVELOPMENT PERMIT
2	2024	08/02	ISSUED FOR BUILDING PERMIT
1			NO. DATE Y/M/D DESCRIPTION

ISSUES AND REVISIONS  
SEAL



**FIRE RATING**

0HR F.R.R.	0HR F.R.R.
45 MIN F.R.R.	45 MIN F.R.R.
1HR F.R.R.	1HR F.R.R.
1.5HR F.R.R.	1.5HR F.R.R.
2HR F.R.R.	2HR F.R.R.
3HR F.R.R.	3HR F.R.R.
4HR F.R.R.	4HR F.R.R.

FF 220 (10.22.21)  
 EXIT  
 FIRE DOOR (ON VISIBLE SIDE OF DOOR WHEN OPEN)

**WALL CONSTRUCTION**  
ALL FIRE-RATED WALLS MUST BE CONSTRUCTED TO W/ STRUCTURE ABOVE.  
ALL SOUND ATTENUATION WALLS TO BE CONSTRUCTED TO W/ STRUCTURE ABOVE.  
ALL WALLS, NOT NOTED ABOVE, TO CONTINUE TO T/C ABOVE CEILING.

**WET WALLS**  
JANITOR ROOM, CHANGE ROOM, LOCKER ROOM AND WASHROOMS: REPLACE GYPSUM BOARD w/ GREEN BOARD @ ALL WET WALLS.

PROJECT NAME  
**BEAVER LAKE INDUSTRIAL - BUILDING 3**

PROJECT ADDRESS  
304 BEAVER LAKE ROAD  
KELOWNA, BC V4V 1S7

DRAWING TITLE  
**BUILDING SECTIONS**

SCALE: As Indicated  
DRAWN: BSS  
REVIEWED:  
PROJECT NO: 220427-A  
DRAWING NO:

**A5.11**



**LEGEND**

[Green Swatch]	SOD
[Light Green Swatch]	PLANTING MEDIUM
[Grey Swatch]	CONCRETE SIDEWALK
[Brown Swatch]	HERRINGBONE PAVERS
[Dark Brown Swatch]	GRAVEL
[Grey Swatch]	CONCRETE RETAINING WALL
[Black Swatch]	TABLE
[Black Swatch]	BENCH
[Dashed Line]	PROPERTY LINE

#	241107	ISSUED FOR DP
#	240994	ISSUED FOR DP
#	240816	ISSUED FOR SP
#	240802	ISSUED FOR COORDINATION
NO.	DATE (YYYY)	DESCRIPTION
ISSUES & REVISIONS		
SEAL		



1  
A1.02



PROJECT NAME  
**BEAVER LAKE INDUSTRIAL - BLDG 3**

PROJECT ADDRESS  
**304 BEAVER LAKE ROAD  
 KELOWNA, BC V4V 1S7**

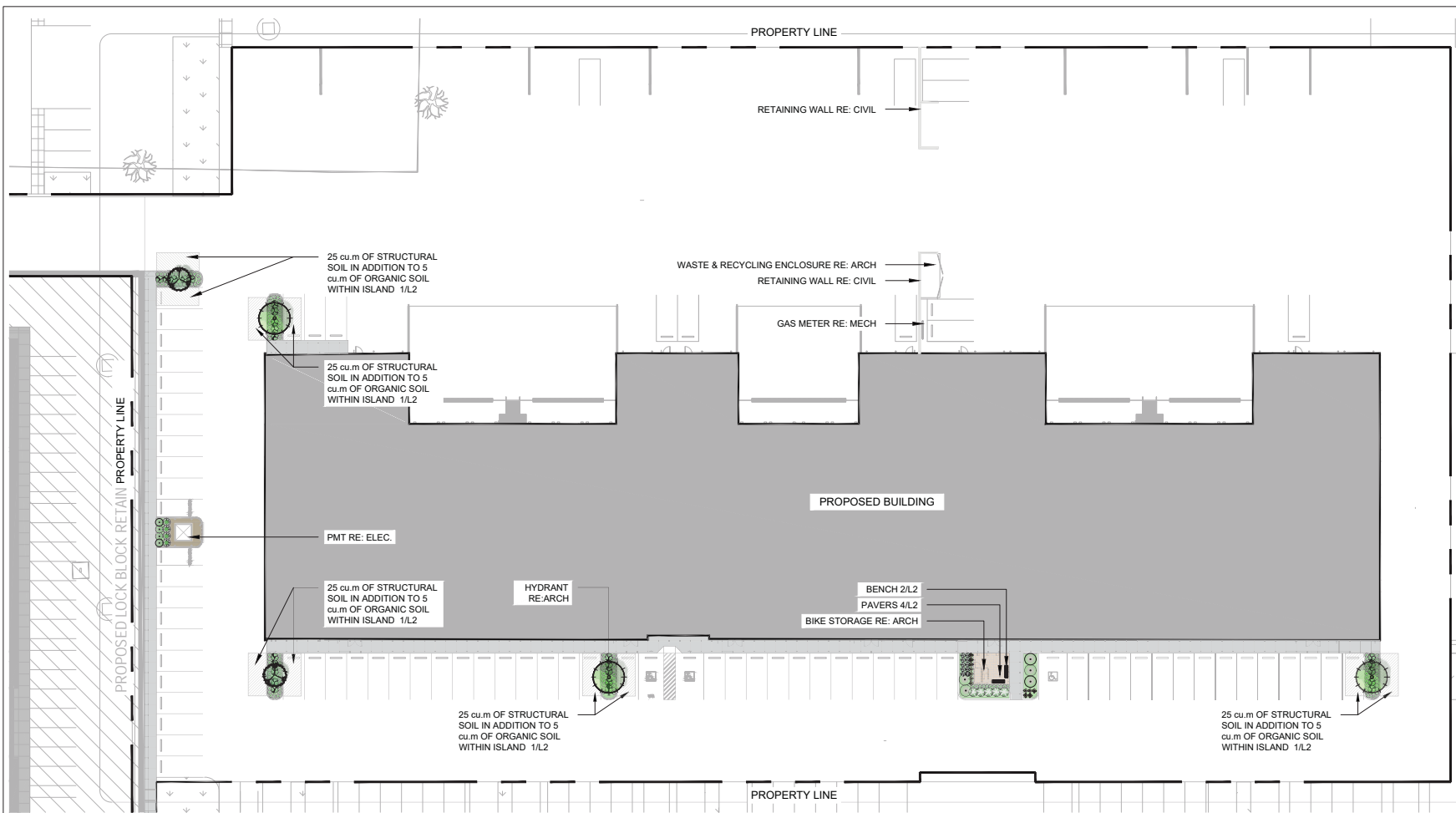
DRAWING TITLE  
**LANDSCAPE PLAN**

SCALE: 1:200  
 DRAWN: MA  
 CHECKED: JT  
 PROJECT NO: 230457-L  
 DRAWING NO:

**L1**

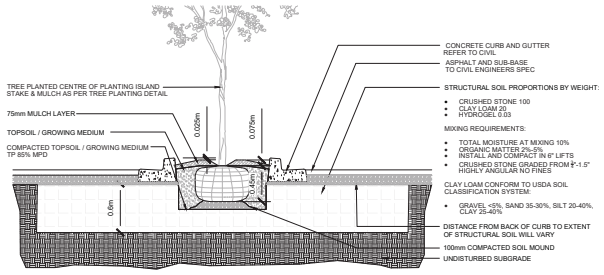


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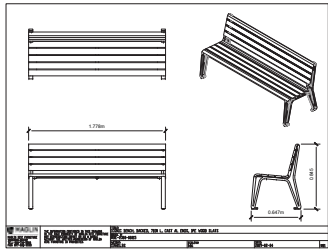


**PLANT LIST**

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
<b>DECIDUOUS TREES</b>						
[Tree Symbol]	3	Acer Crinum Pacific Fir	Pacific Fire Vine Maple	6m cal.	As Shown	W.B.
<b>CONIFEROUS TREES</b>						
[Tree Symbol]	3	Picea Pungens	Blue Spruce	3m Ht.	As Shown	B&B
<b>SHRUBS</b>						
[Shrub Symbol]	5	Rosa Rugosa 'Abel'	Rugosa Rose		As Shown	#3 Pot
[Shrub Symbol]	5	Physocarpus Opulifolius 'Jefan'	Amber Jubilee Ninebark		As Shown	#5 Pot
[Shrub Symbol]	25	Vaccinium Ovatum	Emergreen Huckleberry		As Shown	#5 Pot
[Shrub Symbol]	10	Adiantum Parvifolium	Roman Wrenwort		As Shown	#3 Pot
[Shrub Symbol]	4	Thuja Occidentalis 'Smaragd'	Emerald Green Cedar		As Shown	#3 Pot
<b>PERENNIALS, GROUND COVERS AND GRASSES</b>						
[Perennial Symbol]	133	Festuca Glauca 'Elijah Blue'	Blue Fescue		As Shown	#1 Pot
[Perennial Symbol]	12	Heuchera	Coral Bells		As Shown	#1 Pot
[Perennial Symbol]	4	Potentilla Fruticosa	Shrubby Cinquefoil		As Shown	#1 Pot

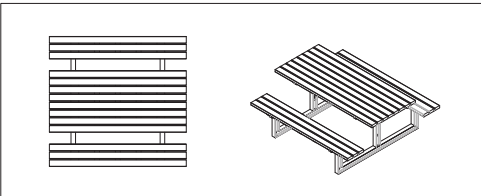


1 STRUCTURAL SOIL N.T.S.



MAGLIN 2000 BACKED BENCH MATERIAL: PE WOOD INSTALLATION SURFACE MOUNT QUANTITY: 3 1-800-716-5598

2 BENCH N.T.S.

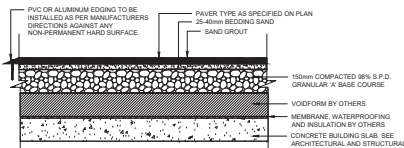


MAGLIN 210 CLUSTER SEATING MATERIAL: PE WOOD INSTALLATION SURFACE MOUNT QUANTITY: 3 1-800-716-5598

3 TABLE N.T.S.

NOTES:

1. INSTALL ALL COMPONENTS AS PER MANUFACTURERS SPECIFICATIONS



4 PAVERS N.T.S.

HOLLAND ECO PAVER SPECIFICATIONS  
 PATTERN: HOLLAND ECO  
 COLOUR: ANTIQUE BROWN  
 MANUFACTURER: BARKMAN CONCRETE  
 CONTACT: WWW.BARKMANCONCRETE.COM

NOTES

- GENERAL NOTES**
1. EXAMINE SITE AND CONFIRM EXISTING SITE CONDITIONS BEFORE BIDDING.
  2. CONFIRM ALL MEASUREMENTS ON SITE. DO NOT SCALE DRAWINGS.
  3. CONFIRM EXISTING AND PROPOSED DEEDS PRIOR TO BEGINNING CONSTRUCTION WORKS.
  4. CONFIRM MUNICIPAL REQUIREMENTS FOR BUILDING PERMITS, SETBACKS, BUILDING CODE WORKS, AND OTHER BY-LAW REQUIREMENTS. OBTAIN APPROVALS PRIOR TO BEGINNING CONSTRUCTION WORKS.
  5. OBTAIN UTILITY AND SERVICES LOCATES PRIOR TO BEGINNING CONSTRUCTION WORKS.
  6. PROTECT FROM DAMAGE ALL EXISTING STRUCTURES, TREES, SURFACES, SITE FURNISHINGS, UNDERGROUND SERVICES AND OTHER EXISTING ELEMENTS THAT EITHER REMAIN ON SITE, ARE PART OF THE SITE ACCESS OR ARE ADJACENT TO THE SITE. PERFORM REPAIR AND MAKE GOOD WORK FOR ANY DAMAGE THAT IS CAUSED BY THE CONTRACTORS WORK AT THE CONTRACTORS OWN EXPENSE.
  7. UNLESS OTHERWISE SPECIFIED, CONTRACTOR SHALL GUARANTEE ALL WORKS AND MATERIALS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR. CONTRACTOR SHALL INSPECT THE LANDSCAPE ON A REGULAR BASIS AND REPLACE MATERIALS THAT ARE IN POOR CONDITION WITHIN TWO WEEKS OF INSPECTION OR NOTIFICATION.
  8. THE CONTRACTOR SHALL MAINTAIN THE SITE IN GOOD WORKING ORDER WITH A CLEAN AND ORDERED APPEARANCE. DURING THE PERIOD OF WORKS, PEDESTRIAN, PUBLIC AND ROAD AREAS ARE TO BE SWEEPED AT THE END OF EACH DAY AND KEPT FREE OF DEBRIS. LANDSCAPE DEBRIS IS TO BE DISPOSED OFF SITE AT LEGAL, AND APPROVED LOCATIONS.

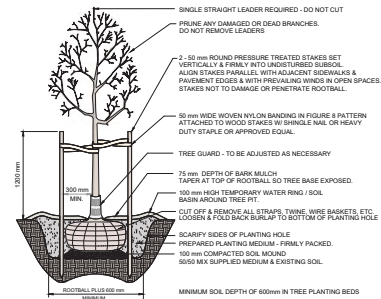
- PLANTING NOTES**
1. PLANTS SHALL BE INSTALLED AS DIRECTED BY THE DRAWING, NOTES AND DETAILS.
  2. PLANT MATERIAL SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL.
  3. ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED AND SOAKED AT THE TIME OF PLANTING.
  4. TREE PROTECTION, PER THE MUNICIPAL DETAIL, IF REQUIRED.
  5. ALL LANDSCAPE MATERIAL IS TO COMPLY WITH THE CURRENT EDITION OF THE CANADIAN LANDSCAPE STANDARD.
  6. SOIL DEPTH IN ALL PLANTING AREAS TO BE A MINIMUM OF 450mm AND A MINIMUM OF 600mm IN PLANTING BEDS WITH TREES.
  7. SOIL ANALYSIS FOR PROPOSED GROWING MEDIUMS IS TO BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
  8. PLANTING MEDIUM TO MEET CANADIAN LANDSCAPE STANDARD FOR LEVEL 1.
  9. ALL PLANTING BEDS TO BE FINISHED WITH 75mm OF BARK MULCH. REFER TO PLANTING DETAILS FOR INSTALLATION AROUND PLANT MATERIAL.
  10. PLANT MATERIALS SPECIFIED FOR THIS PROJECT WILL CONFORM TO THE CANADIAN LANDSCAPE STANDARD AND MUNICIPAL LANDSCAPE STANDARD FOR SIZE, VARIETY AND CONDITION AS INDICATED ON THE PLANT LIST SHOWN ON THIS DRAWING. ANY PLANT DISPLAYING POOR GROWTH HABITS, INJURY OR DISEASE WILL BE REJECTED. ANY PLANT THAT IS REJECTED WILL BE REMOVED FROM THE SITE AND REPLACED WITH A PLANT OF ACCEPTABLE QUALITY AT NO ADDITIONAL COST TO THE OWNER.
  11. REMOVE DEAD OR DAMAGED BRANCHES. ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES AND INTERNATIONAL SOCIETY ARBORISTS (I.S.A.) SPECIFICATIONS WITH APPROPRIATE TIMING FOR EACH SPECIES.
  12. PROVIDE A ONE YEAR WARRANTY FOR THE PLANT MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION DURING THE WARRANTY PERIOD UNLESS OTHERWISE AGREED UPON, AND FOR REPLACEMENT OF PLANT MATERIALS THAT ARE DEAD OR IN POOR CONDITION DURING THE WARRANTY PERIOD AT THE CONTRACTORS OWN EXPENSE. MAINTENANCE INCLUDES BUT IS NOT LIMITED TO:  
 12.1 Regular schedule of watering of the plants as required and/or as directed by the Project Manager during construction and the warranty period. Plants shall be watered within 48 hours of written request by the Owner or Owner's representative. Failure to do so after the request shall result in the work being undertaken by others. The cost of this work shall be deducted from the total Contract Price or holdback and otherwise recovered from the Contractor.  
 12.2 Maintenance and additional installation of mulch  
 12.3 Weed removal  
 12.4 Disease control

- MINIMUM TREE PLANTING CLEARANCES**
1. TREES SHALL HAVE THE FOLLOWING MINIMUM CLEARANCES FROM:  
 1.1 STREET LIGHT POLES - 8.0m  
 1.2 UTILITY POLES - 3.0m  
 1.3 EDGE OF DRIVEWAY, CURB RETURN, CATCHBASIN OR ABOVE GROUND UTILITY FACILITY - 2.0m  
 1.4 SEWER AND DRAINAGE SERVICE CONNECTION/FIRE HYDRANTS - 1.5m  
 1.5 MANHOLES, VALVE BOXES, WATER SERVICES - 1.2m  
 1.6 BOLLARD/TURNSTILE SWITCH VAULTS - 2.25m
  2. WHERE THERE IS A BOULEVARD PLANTING STRIP BETWEEN THE BACK OF THE CURB AND FRONT OF THE SIDEWALK, TREES SHALL BE PLANTED A MINIMUM OF 1.0m FROM BACK OF CURB AND 1.0m FROM BACK OF SIDEWALK.
  3. IN OTHER CIRCUMSTANCES TREES SHALL BE PLANTED 1.0m FROM THE BACK OF THE SIDEWALK AND 2.0m FROM BACK OF CURB.
- SOODING NOTES**
1. SOODING AREAS AS SHOWN ON THE PLANTING PLAN ARE TO BE CERTIFIED CANADA NO. 1 CULTIVATED TURF SOIL, WITH STRONG FIBROUS ROOT SYSTEM, THICK AND HEAVY GROWTH CONFORMING TO REQUIREMENTS OF THE CANADIAN LANDSCAPE STANDARD, AND OF THE FOLLOWING MIX OR APPROVED EQUAL:  
 40% BLEND OF (3) VARIETIES OF KENTUCKY BLUEGRASS  
 40% CREEPING RED FESCUE  
 20% PERENNIAL RYEGRASS  
 USE LATEST APPROVED CULTIVARS OF GRASS IN PROVINCE
  2. AREAS TO BE SOODING SHALL HAVE A MINIMUM 150MM TOPSOIL BASE
  3. LOOSEN SOIL SURFACE PRIOR TO SOODING. ELIMINATE BUMPS AND HOLLOW. ROLL LIGHTLY WHEREVER TOPSOIL IS EXCESSIVELY LOOSE.
  4. PRIOR TO SOODING, OBTAIN APPROVAL THAT FINISHED GRADE AND DEPTH OF TOPSOIL ARE SATISFACTORY.
  5. DELIVER SOOD TO SITE WITHIN 24 HOURS OF BEING LIFTED AND LAY WITHIN 36 HOURS OF BEING LIFTED. DURING DRY WEATHER PROTECT SOOD FROM DRYING, AND WATER SOOD AS NECESSARY TO ENSURE ITS VIABILITY AND PREVENT THE LOSS OF SOIL IN HANDLING. DRY SOOD WILL BE REJECTED.
  6. LAY SOOD DURING GROWING SEASON. LAY SOOD IN ROWS, PERPENDICULAR TO SLOPE, AND WITH JOINTS STAGGERED. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT CUT IRREGULAR OR THIN SECTIONS WITH SHARP IMPLEMENTS.
  7. WATER SOOD IMMEDIATELY AFTER LAYING TO OBTAIN MOISTURE PENETRATION INTO TOP 150MM OF TOPSOIL. MAINTAIN SOODING AREAS FROM START OF INSTALLATION UNTIL FINAL ACCEPTANCE.

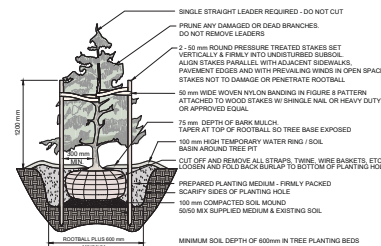
- IRRIGATION NOTES**
1. IRRIGATION TO BE PROVIDED FOR ALL "SOFT LANDSCAPE AREAS" SHOWN ON THE DRAWING, USING A HIGH EFFICIENCY IRRIGATION SYSTEM.
  2. IRRIGATED AREAS TO BE INSTALLED AS A DESIGN BUILD IRRIGATION SYSTEM FOR THE STUB OUT PROVIDED. PROVIDE SUBMITTALS OF DESIGN TO CONSULTANT AT LEAST ONE WEEK PRIOR TO INSTALLATION AND AS-BUILT DRAWING WITHIN ONE MONTH OF SUBSTANTIAL PERFORMANCE.
  3. THE IRRIGATION SYSTEM DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE IRRIGATION INDUSTRY OF BC STANDARDS AND GUIDELINES.
  4. ALL IRRIGATION VALVE BOXES TO BE EQUIPPED WITH QUICK COUPLERS.
  5. USE POP-UP SPRINKLER HEADS.
  6. DO NOT SPRAY WATER ON TREE TRUNKS.

- SEEDING NOTES**
1. AREAS DESIGNATED FOR SEED WILL FOLLOW THESE GUIDELINES.
  2. REMOVE ALL DEBRIS INCLUDING BUT NOT LIMITED TO ALL GRANULAR STONE, CONCRETE, WOOD AND METAL. SCARIFY ALL DISTURBED AREAS TO ELIMINATE COMPACTION OF TOPSOIL.
  3. TO PREPARE AREAS FOR SEEDING, SPREAD, LOOSEN AND FINE GRADE TOPSOIL. GRADE FOR POSITIVE DRAINAGE. DEPTH OF TOPSOIL TO BE MIN. 150MM.
  4. TO ENSURE ACCEPTANCE OF THE COMPLETED WORK, THE CONTRACTOR SHALL NOT COMMENCE SEEDING UNTIL THE PROJECT MANAGER HAS APPROVED THE GRADES.
  5. SEEDING OPERATIONS SHALL BE COMPLETED BETWEEN SPRING THAW AND JUNE 15TH FOR SPRING WORK, OR BETWEEN AUGUST 15TH AND OCTOBER 15TH FOR FALL WORK.
  6. SEED APPLICATION METHOD: HYDROSEEDING BY APPROVED CONTRACTOR.
  7. CONTRACTOR TO ENSURE ADEQUATE SEED MIX CATCH. SEEDED AREAS WILL BE ACCEPTED PROVIDED THAT A SUFFICIENT AMOUNT OF THE SEED HAS GERMINATED AND BECOME ESTABLISHED IN THE OPINION OF THE PROJECT MANAGER.
  8. MAINTENANCE FOR SEEDED AREAS SHALL BEGIN IMMEDIATELY AFTER INSTALLATION AND SHALL CONTINUE UNTIL ACCEPTANCE BY THE PROJECT MANAGER.

SEED MIX TO BE AS FOLLOWS:  
 PREMIER PACIFIC SEEDS COASTAL REVEGETATION MIX AT A SEEDING RATE OF 100 KG/HECTARE OR APPROVED EQUAL AT SEEDING RATE OF 100KG/HECTARE.



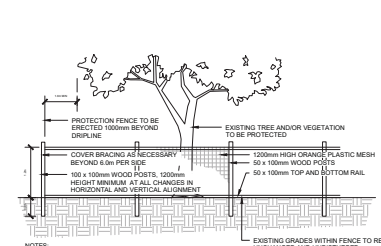
DECIDUOUS TREE N.T.S.



CONIFEROUS TREE N.T.S.



SHRUB AND PERENNIAL PLANTING DETAIL N.T.S.



TREE PROTECTION DETAIL N.T.S.

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#	241107	ISSUED FOR DP
#	240994	ISSUED FOR OP
#	240896	ISSUED FOR BP
#	240892	ISSUED FOR COORDINATION
NO. DATE (Y/M/D)	DESCRIPTION	
ISSUES & REVISIONS		
SCALE		



NORTH ARROW

PROJECT NAME  
 BEAVER LAKE INDUSTRIAL - BLDG 3

PROJECT ADDRESS  
 304 BEAVER LAKE ROAD  
 KELLOWNA, BC V4V 1S7

DRAWING TITLE  
 DETAILS

SCALE	AS NOTED
DRAWN	MA
CHECKED	JT
PROJECT NO.	230457-L
DRAWING NO.	L2

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